

**CITY OF WATERTOWN, NEW YORK**  
**REVISED AGENDA**  
**Monday, March 7, 2022**

This shall serve as notice that the next regularly scheduled meeting of the City Council will be held on Monday, March 7, 2022, at 7:00 p.m. in the City Council Chambers, 245 Washington Street, Watertown, New York.

The City Council meeting is open to the public.

## MOMENT OF SILENCE

## PLEDGE OF ALLEGIANCE

## ROLL CALL

## ADOPTION OF MINUTES

## COMMUNICATIONS

# PRIVILEGE OF THE FLOOR

## RESOLUTIONS

- |                    |  |
|--------------------|--|
| Resolution No. 1 - | Accepting Bid for Ductile Iron Pipe Fittings,<br>Ferguson Waterworks   |
| Resolution No. 2 - | Accepting Bid for Water Treatment Plant Maintenance &<br>Administration Buildings Repointing Project,<br>Charles T. Driscoll Masonry Restoration Co., Inc. |
| Resolution No. 3 - | Accepting Bid for Ladder Truck Equipment,<br>First Out Rescue Equipment  |
| Resolution No. 4 - | Accepting Bid for Ladder Truck Equipment,<br>Jerome Fire Equipment Co., Inc.   |
| Resolution No. 5 - | Accepting Bid for Ladder Truck Equipment,<br>McQuade & Bannigan  |
| Resolution No. 6 - | Accepting Bid for Ladder Truck Equipment,<br>Municipal Emergency Services, Inc.  |

- Resolution No. 7 - Re-Adoption of Fiscal Years 2020-21 through 2024-25 Capital Budget – DRI Streetscape Project
- Resolution No. 8 - Approving the Artist Agreement with David Grieco as the Artist for the DRI Public Art Project
- Resolution No. 9 - Informing Watertown Golf Club About Parking Restrictions
- Resolution No. 10 - Authorizing Public Auction for Sale of City Owned Properties
- Resolution No. 11 - Approving License Agreement with Convalt Energy, Inc. for Sewall’s Island, P.N. 4-12-201.100
- Resolution No. 12 - Approving License Agreement with Convalt Energy, Inc. for Sewall’s Island, P.N. 4-12-103.100
- ADDED:**
- Resolution No. 13 - Appointment of Commissioner of Deeds

## **ORDINANCES**

- Ordinance No. 1 - Changing the Approved Zoning Classification of 108 Flower Avenue East, Parcel Number 11-12-127.000 from Residence B to Neighborhood Business

## **LOCAL LAW**

## **PUBLIC HEARING**

- 7:15 p.m. Community Development Block Grant (CDBG) 2022 Annual Action Plan

## **OLD BUSINESS**

- Tabled Resolution Approving License Agreement with Convalt Energy, Inc. for Sewall’s Island

## **STAFF REPORTS**

## **NEW BUSINESS**

## **EXECUTIVE SESSION**

1. To discuss proposed, pending or current litigation.

**WORK SESSION**

Next Work Session is scheduled for Monday, March 14, 2022, at 7:00 p.m.

**ADJOURNMENT**

**NEXT REGULARLY SCHEDULED CITY COUNCIL MEETING IS MONDAY,  
MARCH 21, 2022.**

Res No. 1

February 25, 2022

To: The Honorable Mayor and City Council

From: Dale Morrow, Purchasing Manager

Subject: Bid #2022-04 Ductile Iron Pipe Fittings  
Letter of Recommendation

The City's Purchasing Department advertised in the Watertown Daily Times on February 6, 2022, calling for sealed bids from qualified bidders for the purchase and delivery of Ductile Iron Pipe Fittings for use in the ARPA funded water main replacement projects, per City specifications.

The Purchasing Department also issued Invitations to Bid to five (5) manufacturers. The City received two (2) sealed bids submittals. The Purchasing Department publicly opened and read the sealed bids on February 24, 2022, at 11:00 am local time. See attached for the bid tabulation.

The Purchasing Department and the Engineering Department reviewed the response to ensure that they complied with the specifications.

Staff recommends that City Council award the bid for the Ductile Iron Pipe to Ferguson Waterworks as the lowest responsive responsible bidder at \$108,407.70.

A resolution for Council consideration is attached.

# RESOLUTION

Page 1 of 1

Accepting Bid for  
Ductile Iron Pipe Fittings,  
Ferguson Waterworks

Council Member HICKEY, Patrick J.  
Council Member OLNEY III, Clifford G.  
Council Member PIERCE, Sarah V.C.  
Council Member RUGGIERO, Lisa A.  
Mayor SMITH, Jeffrey M.

Total.....

YEA	NAY

## *Introduced by*

WHEREAS the City Purchasing Department has advertised and received sealed bids for Ductile Iron Pipe Fittings in Watertown, New York, as per City specifications, and

WHEREAS bid invitations were also issued to qualified bidders with two (2) sealed bids submitted to the Purchasing Department, and

WHEREAS on Thursday, February 24, 2022, at 11:00 a.m., the bid received was publicly opened and read, and

WHEREAS City Purchasing Manager Dale Morrow reviewed the bids received with the Engineering Department, and it is their recommendation that the City Council accept the bid submitted by Ferguson Waterworks,

NOW THEREFORE BE IT RESOLVED that the City Council of the City of Watertown accepts the bid of Ferguson Waterworks in the amount of \$108,407.70, and

BE IT FURTHER RESOLVED that the City Manager is hereby authorized and directed to sign all contracts associated with implementing the award to Ferguson Waterworks.

## *Seconded by*



# CITY OF WATERTOWN, NEW YORK

CITY HALL

245 WASHINGTON STREET

WATERTOWN, NEW YORK 13601-3380

Bid Opening Date:

Ductile Iron Pipe Fittings

Bid #2022-04

2/24/22 @ 11:00 am

*The following results are bids as presented at the bid opening and do not represent an award.*

Ductile Iron Pipe Fittings	Qty.	Blair Supply Corp.		Ferguson Waterworks	
		Rochester, NY		E. Syracuse, NY	
		Unit Price	Total Price	Unit Price	Total Price
45° Elbows (8 Inch)	2	\$296.00	\$592.00	\$284.37	\$568.74
45° Elbows (10 Inch)	4	\$424.00	\$1,696.00	\$408.65	\$1,634.60
90° Elbows (10 Inch)	1	\$542.00	\$542.00	\$517.83	\$517.83
Crosses (8 Inch)	2	\$707.00	\$1,414.00	\$677.20	\$1,354.40
Tee's (6 Inch)	5	\$345.00	\$1,725.00	\$336.70	\$1,683.50
Tee's (8 Inch)	16	\$499.00	\$7,984.00	\$476.85	\$7,629.60
Tee's (10 Inch)	19	\$803.00	\$15,257.00	\$768.53	\$14,602.07
Valves (6 Inch)	5	\$895.00	\$4,475.00	\$839.99	\$4,199.95
Valves (8 Inch)	21	\$1,406.00	\$29,526.00	\$1,311.85	\$27,548.85
Valves (10 Inch)	24	\$2,172.00	\$52,128.00	\$2,027.84	\$48,668.16
TOTAL BID			\$115,339.00		\$108,407.70

February 18, 2022

To: The Honorable Mayor and City Council

From: Dale Morrow, Purchasing Manager

Subject: Bid #2022-07 Water Treatment Plant Maintenance & Administration Buildings Repointing Project, Letter of Recommendation

The City's Purchasing Department advertised in the Watertown Daily Times on January 20, 2022, calling for sealed bids from qualified bidders for the Water Treatment Plant Maintenance and Administration Buildings Repointing Project, per City specifications. This project is funded for \$80,000 on page 319 of the 2021-2022 Capital Budget.

The Purchasing Department also issued Invitations to Bid to plan houses and seven (7) contractors. The City received two (2) sealed bid submittals. The Purchasing Department publicly opened and read the sealed bids on February 17, 2022, at 2:00 pm local time. The bid tabulation for the bid is shown below.

WTP Maint & Adm Bldg Repointing Project	Charles T. Driscoll Masonry	Heritage Masonry Restoration
	Skaneateles Falls, NY	Syracuse, NY
Total Base Bid	\$42,900.00	\$116,980.00
Alternate #1	\$29,800.00	\$37,250.00

This contract also includes an alternate for consideration. Add Alternate #1 includes furnishing and installing new metal wrap around all perimeter wood soffits and frieze boards at the Maintenance and Administration Buildings with aluminum coil stock bent to match existing soffit and frieze board profiles and color match existing brown metal fascia.

City Engineers and the Purchasing Department reviewed the responses to ensure that they complied with the specifications.

Staff recommends that City Council award the bid for the Water Treatment Plant Maintenance & Administration Buildings Repointing Project to Charles T. Driscoll Masonry Restoration Co., Inc. as the lowest responsive responsible bidder at \$42,900. City Council should also award Alternate #1 to Charles T. Driscoll Masonry Restoration Co., Inc. in the amount of \$29,800 for a total award of \$72,700.

A resolution for Council consideration is attached.

**RESOLUTION**

Page 1 of 1

Accepting Bid for Water Treatment  
Plant Maintenance & Administration  
Buildings Repointing Project,  
Charles T. Driscoll Masonry  
Restoration Co., Inc.

Council Member HICKEY, Patrick J.

Council Member OLNEY III, Clifford G.

Council Member PIERCE, Sarah V.C.

Council Member RUGGIERO, Lisa A.

Mayor SMITH, Jeffrey M.

Total.....

YEA	NAY

***Introduced by***

WHEREAS the City Purchasing Department has advertised and received sealed bids for Water Treatment Plant Maintenance and Administration Buildings Repointing Project in Watertown, New York, as per City specifications, and

WHEREAS bid invitations were also issued to qualified bidders with two (2) sealed bids submitted to the Purchasing Department, and

WHEREAS on Thursday, February 17, 2022, at 2:00 p.m., the bids received were publicly opened and read, and


WHEREAS City Purchasing Manager Dale Morrow reviewed the bids received with the Engineering Department, and it is their recommendation that the City Council accept the bid submitted by Charles T. Driscoll Masonry Restoration Co., Inc.,

NOW THEREFORE BE IT RESOLVED that the City Council of the City of Watertown accepts the bid of Charles T. Driscoll Masonry Restoration Co., Inc. in the amount of \$72,700, to include Alternate No. 1, and

BE IT FURTHER RESOLVED that the City Manager is hereby authorized and directed to sign all contracts associated with implementing the award to Charles T. Driscoll Masonry Restoration Co., Inc.

***Seconded by***

FISCAL YEAR 2021-2022  
CAPITAL BUDGET  
FACILITY IMPROVEMENTS  
FILTRATION

PROJECT DESCRIPTION	COST
<p>Re-point Masonry – Maintenance and Administration Buildings</p> <p>As part of the ongoing upkeep to the stone buildings, it is necessary to have the loose mortar removed and replaced. This keeps the stone stable and weather tight thereby preventing structural damage.</p>  <p>Funding to support this project will be from the American Rescue Plan of 2021.</p>	<p>\$80,000</p>
<b>TOTAL</b>	<b>\$80,000</b>

February 18, 2022

To: The Honorable Mayor and City Council

From: Dale Morrow, Purchasing Manager

Subject: Bid #2022-05 Ladder Truck Equipment  
Letter of Recommendation

The City's Purchasing Department advertised in the Watertown Daily Times on January 25, 2022, calling for sealed bids from qualified bidders for the purchase and delivery of new and unused Fire Truck Equipment on an Aerial Ladder Truck recently acquired by the City of Watertown, per City specifications.

The ladder truck equipment is part of the 2020-21 Capital Budget, page 272 budgeted at \$1,400,000. The ladder truck was purchased in May 2021 in the amount of \$1,232,370.

The Purchasing Department also issued Invitations to Bid to eight (8) area equipment providers. The City received four (4) sealed bid submittals. The Purchasing Department publicly opened and read the sealed bids on February 16, 2022, at 2:00 pm local time. This bid, consisting of one hundred and fifty-eight (158) items, will be awarded in a "line-by-line" method meaning the vendor with the lowest price for each line will win the award for that item. There will be multiple awards from this bid.


The bid proposals were reviewed by the City Fire Department and the Purchasing Department for adherence to the bid specifications and terms. Upon review, it is recommended that the following responses be awarded:

	Items Awarded	Total Award
First Out Rescue	7	\$2,060.00
Jerome Fire Equipment	45	\$45,429.03
McQuade & Bannigan	58	\$22,085.02
MES	29	\$18,901.00
No Bid	19	
	<b>TOTAL</b>	<b>\$88,475.05</b>

The items that were "no bid" will cost approximately \$2,800.

Attached are resolutions for Council consideration. There is sufficient funding covered by the Bond Ordinance approved by City Council on April 19, 2021 for the purchase of the truck and necessary equipment.

FISCAL YEAR 2020-2021  
CAPITAL BUDGET  
VEHICLES AND EQUIPMENT  
FIRE

PROJECT DESCRIPTION	COST
<p><b>Aerial Platform</b></p> <p>This truck will replace the 1986 Emergency One ladder truck. The vehicle served as the primary ladder truck from 1990 to 2004. In 2004 it was moved into reserve status. It currently goes into operation when the primary ladder truck is down for service or as needed for emergency incidents. It is becoming difficult to find replacement parts, due to its age. Additionally, at 34 years old it lacks safety equipment common to newer vehicles (air bags, three point seat belts, etc.). Its replacement would be placed into frontline service and the 2004 Pierce ladder truck would go into reserve status. Delivery of the truck is expected to be 18 – 24 months after placement of the order.</p>  <p>Funding to support this project will be through the issuance of a 10 year serial bond with projected FY 2021-22 debt service of \$132,388.</p>	<p><b>\$1,400,000</b></p>
<b>TOTAL</b>	<b>\$1,400,000</b>

**RESOLUTION**

Page 1 of 2

Accepting Bid for  
Ladder Truck Equipment,  
First Out Rescue Equipment

Council Member HICKEY, Patrick J.  
Council Member OLNEY III, Clifford G.  
Council Member PIERCE, Sarah V.C.  
Council Member RUGGIERO, Lisa A.  
Mayor SMITH, Jeffrey M.

Total.....

YEA	NAY

***Introduced by***

WHEREAS the City Purchasing Department has advertised and received sealed bids for Ladder Truck Equipment in Watertown, New York, as per City specifications, and

WHEREAS bid invitations were also issued to qualified bidders with four (4) sealed bids submitted to the Purchasing Department, and

WHEREAS on Thursday, February 16, 2022, at 2:00 p.m., the bids received were publicly opened and read, and

WHEREAS City Purchasing Manager Dale Morrow reviewed the bids received with the Fire Department, and it is their recommendation that the City Council accept the bid submitted by First Out Rescue Equipment, of Tonawanda, NY, in the amount of \$2,060 for the following seven (7) items:

32	Saw Chainsaw Gas Powered Chain Roll (100ft. Roll, 3/8in. Chain Pitch, .063in.GA)	1	575.00	575.00
33	Desert Diamond Roof Max Carbide Blade 14" *	2	85.00	170.00
34	Desert Diamond Fire Rescue Safety Blade 14" *	2	295.00	590.00
57	1" Nylon Tublar Webbing Blue 300' Roll (MBS. 4000 lbs. (17.7 kN)	1	85.00	85.00
58	1" Nylon Tublar Webbing Red 300' Roll (MBS. 4000 lbs. (17.7 kN)	1	85.00	85.00
127	LoneStar Axe The PIG Tool 32" Notched Head, Tan*	2	210.00	420.00
153	Folding Road Cones (Six Pack)	1	135.00	135.00

# RESOLUTION

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Accepting Bid for  
Ladder Truck Equipment,  
First Out Rescue Equipment

Council Member HICKEY, Patrick J.

Council Member OLNEY III, Clifford G.

Council Member PIERCE, Sarah V.C.

Council Member RUGGIERO, Lisa A.

Mayor SMITH, Jeffrey M.

Total.....

YEA	NAY

NOW THEREFORE BE IT RESOLVED that the City Council of the City of Watertown accepts the bid of First Out Rescue Equipment in the amount of \$2,060, and

BE IT FURTHER RESOLVED that the City Manager is hereby authorized and directed to sign all contracts associated with implementing the award to First Out Rescue Equipment.

*Seconded by*

# RESOLUTION

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Accepting Bid for  
Ladder Truck Equipment,  
Jerome Fire Equipment Co., Inc.

Council Member HICKEY, Patrick J.  
Council Member OLNEY III, Clifford G.  
Council Member PIERCE, Sarah V.C.  
Council Member RUGGIERO, Lisa A.  
Mayor SMITH, Jeffrey M.

Total.....

YEA	NAY

## *Introduced by*

WHEREAS the City Purchasing Department has advertised and received sealed bids for Ladder Truck Equipment in Watertown, New York, as per City specifications, and

WHEREAS bid invitations were also issued to qualified bidders with four (4) sealed bids submitted to the Purchasing Department, and

WHEREAS on Thursday, February 16, 2022, at 2:00 p.m., the bids received were publicly opened and read, and

WHEREAS City Purchasing Manager Dale Morrow reviewed the bids received with the Fire Department, and it is their recommendation that the City Council accept the bid submitted by Jerome Fire Equipment Co., Inc. of Clay, NY, in the amount of \$45,429.03. Attached are forty-five (45) items for reference, and

NOW THEREFORE BE IT RESOLVED that the City Council of the City of Watertown accepts the bid of Jerome Fire Equipment Co., Inc. in the amount of \$45,429.03 per the attached listing which is made part of this resolution, and

BE IT FURTHER RESOLVED that the City Manager is hereby authorized and directed to sign all contracts associated with implementing the award to Jerome Fire Equipment Co., Inc.

## *Seconded by*

# Ladder Truck Equipment

Bid #2022-05

2/16/22 @ 2:00 PM

			Jerome Fire Equipment	
			Clay, NY	
Line	Description	Qty	Unit Price	Extended Cost
31	Ventmaster 71cc Chainsaw (572-HD-16-DG .404)*	2	2,166.84	4,333.68
35	CMC Edge Guard Edge Protectors (Large)	2	21.89	43.78
36	CMC Edge Guard Edge Protectors (Medium)	2	18.76	37.52
37	CMC Static Pro 9 Life Safety Rope 1/2" 250'	2	272.50	545.00
38	SMC NFPA Mini Rigging Plate	2	27.60	55.20
39	Petzel ID-L Self Braking Descender*	4	273.37	1,093.48
40	Camp Safety Steel Pro D Locking Carabiner	14	15.25	213.50
41	CMC Rope and Equipment Bag Size L (Color Red)	2	51.23	102.46
42	SMC LARGE Rigging Plate (NFPA130005)	2	51.94	103.88
43	CMC Anchor Strap LARGE 7ft (201024)	4	28.14	112.56
44	RNR Aztek 4:1 Pulley Kit (Standard) #P41*	1	346.78	346.78
45	CMC RigTech Hardware Pack (441103)*	2	168.13	336.26

46	SMC Rigging Ring (81505)	2	5.16	10.32
47	SMC NFPA XL Steel Cabiner (NFPA20003)	5	39.74	198.70
52	SMC Prusik Minding Pulley 3" 1/2" Rope (SM158000N)	2	84.82	169.64
53	CMC Rescue AZ Bound Loop Prusick (RED/GREEN) Prusik Pairs (1 Green, 1 Red)	10	20.87	208.70
56	SMC NFPA Swivel SM136000	4	81.49	325.96
60	True North L3 Rit Bag (RBL303)*	1	282.71	282.71
61	Air hose retrofit for RIT pack MSA Firehawk to G1 Update*	1	779.65	779.65
62	RIT Safety Solutions Low Angle Rescue Haul Kit (A1512)*	2	1,395.00	2,790.00
73	CMC Static Pro 9 Life Safety Rope 1/2" 200" (Various Colors)	4	217.87	871.48
74	CMC Static Pro 9 Life Safety Rope 1/2" 300' (Various Colors)	2	326.81	653.62
76	CMC ATOM Class III Rescue Harness S (202122)*	6	232.81	1,396.86
77	CMC ATOM Class III Rescue Harness M (202124)*	2	232.81	465.62
78	CMC ATOM Class III Rescue Harness L (202125)*	4	232.81	931.24
80	CMC Lifesaver Victim Harness (202405)*	1	202.27	202.27
114	Fire Hooks Unlimited O Tool Kit*	1	86.40	86.40
117	Fire Hooks Unlimited J Hook Panic bar tool*	2	36.00	72.00
121	Fire Hooks Unlimited Composite 8lb FAP-6 pike Head Axe*	3	70.56	211.68

125	Fire Hooks Unlimited PB-30 Pro Bar *	4	266.40	1,065.60
126	Fire Hooks Unlimited Newark Combo Tool W/ Strap (newark-44)*	2	208.80	417.60
128	Pike Pole 3'-4' "D" Handle Leatherhead Tools	2	88.80	177.60
129	Fire Hooks Unlimited Colorado Hook Ch 6'*	2	165.60	331.20
130	Fire Hooks Unlimited Georgia Hook 6'*	2	165.60	331.20
135	Res-q-jack Apex Strut 4PTX Deluxe Kit. Includes: (4) Apex X-Struts (short or long) (2) Apex X-Strut Add-On Jacks (2) Ratchet Straps w/ Wire Hook (2) Ratchet Straps w/ Chains (3) Ratchet Straps w/ Snaps (4) Clusters (4) 4' Chains w/ 8" J, Grabs, Mini-J & T-Hook (1) Grade 80 Chain w/ Grab Hooks (2) Wood/Plastic Hybrid Wedges (2) 20" long 1" Stakes w/ Heads (2) 4' long 1" Pickets w/ Collars*	1	14,356.65	14,356.65 *
140	Haney Manual Rewind Cord Reel With Electrical Extension Cord 12-3 ga 100' Reel W/ Cord 150'*	4	688.80	2,755.20
147	Fan SuperVac Carry Strap (BDSS)*	2	60.00	120.00
148	Fan SuperVac Hydraulic Door Bar 26"-60" (DOOR BAR)*	3	237.60	712.80
149	Fan SuperVac Milwaukee (V16-BL) With Shore Power*	2	3,336.00	6,672.00
150	Fan SuperVac Mount (TM16)*	4	194.40	777.60
151	Fan Super Vac Hangers HR*	2	129.60	259.20
152	Husky Rit Tarp (RIT-1010)	2	116.82	233.64
154	Road Flares (Case of 36)	1	79.95	79.95

155	Road Flare Storage Tube	2	11.24	22.48
158	Gemtor 571 Hose Straps	4	33.84	135.36
159				
160				
<b>Total</b>				<b>45,429.03</b>

# RESOLUTION

Page 1 of 1

Accepting Bid for  
Ladder Truck Equipment,  
McQuade & Bannigan

Council Member HICKEY, Patrick J.  
Council Member OLNEY III, Clifford G.  
Council Member PIERCE, Sarah V.C.  
Council Member RUGGIERO, Lisa A.  
Mayor SMITH, Jeffrey M.

Total.....

YEA	NAY

## *Introduced by*

WHEREAS the City Purchasing Department has advertised and received sealed bids for Ladder Truck Equipment in Watertown, New York, as per City specifications, and

WHEREAS bid invitations were also issued to qualified bidders with four (4) sealed bids submitted to the Purchasing Department, and

WHEREAS on Thursday, February 16, 2022, at 2:00 p.m., the bids received were publicly opened and read, and

WHEREAS City Purchasing Manager Dale Morrow reviewed the bids received with the Fire Department, and it is their recommendation that the City Council accept the bid submitted by McQuade & Bannigan, of Watertown, NY, in the amount of \$22,085.02. Attached are fifty-eight (58) items for reference, and

NOW THEREFORE BE IT RESOLVED that the City Council of the City of Watertown accepts the bid of McQuade & Bannigan in the amount of \$22,085.02 per the attached listing which is made part of this resolution, and

BE IT FURTHER RESOLVED that the City Manager is hereby authorized and directed to sign all contracts associated with implementing the award to McQuade & Bannigan.

## *Seconded by*

# Ladder Truck Equipment

Bid #2022-05

2/16/22 @ 2:00 PM

			McQuade & Bannigan Inc.	
			Watertown, NY	
Line	Description	Qty	Unit Price	Extended Cost
1	Milwaukee Angle Grinder 5" M18 (2780-20)*	2	193.00	386.00
2	Milwaukee Angle Grinder 5" Saw Blade Metal Cut Off Blade	8	14.50	116.00
3	Milwaukee Angle Grinder 5" Saw Blade Diamond	4	14.09	56.36
4	Milwaukee Band Saw Blade (3 Pack)	1	16.25	16.25
5	Milwaukee Band Saw M18 (55ZK43)*	2	297.00	594.00
6	Milwaukee Battery M18 Dual Bay Charger (48-59-1802)*	6	124.75	748.50
7	Milwaukee Battery M18 12Ah (481Z42)*	10	249.00	2,490.00
8	Milwaukee Battery M18 5Ah*	10	145.00	1,450.00
9	Milwaukee Chainsaw M18 (2727-20)*	2	318.00	636.00
10	Milwaukee Chainsaw Supervac Kit (SV789-16)*	2	594.00	1,188.00
11	Milwaukee Circular Saw M18 7-1/4" (54XX82)*	2	242.00	484.00
12	Milwaukee Circular Saw Blades (Diablo 52XF66)*	2	10.45	20.90

13	Milwaukee Circular Saw Metal Cutting Saw M18 (2732-20)*	2	379.00	758.00
14	Milwaukee Circular Saw Metal Cutting Saw Blades (Diablo 54R17)*	2	47.25	94.50
15	Milwaukee Hammer Drill/Driver 1/2" M18 (2804-20)*	2	166.00	332.00
16	Milwaukee Hammer Drill Bits / Impact Driver Bits (SHOCKWAVE Impact Duty Alloy Steel Drill and Screw Driver Bit Set and Titanium	2	31.00	62.00
17	Milwaukee Impact Driver M18 (2857-20)*	2	189.00	378.00
18	Milwaukee Impact Wrench M18 (2767-20)*	2	242.45	484.90
19	Milwaukee Impact Wrench Sockets Metric (49-66-7015)	2	180.00	360.00
20	Milwaukee Impact Wrench Sockets Standard (49-66-7012)	2	135.00	270.00
21	Milwaukee Reciprocating Saw Diablo Blades (3 Pack)*	2	43.75	87.50
22	Milwaukee Reciprocating Saw M18 (2722-20)*	2	247.00	494.00
23	Milwaukee Rotary Saw 9" Blade Diamond (Desert Diamond Fire Rescue Safety Blade 9")*	2	206.00	412.00
24	Milwaukee Rotary Saw 9" (M18 2786-20)*	2	590.00	1,180.00
25	Milwaukee Scene Light Rover Portable Dual Power (2366-20)*	4	145.00	580.00
26	Milwaukee Scene Light Tripod M18 5400 lm (2120-20HD)*	4	675.00	2,700.00
27	Milwaukee Packout Plastic Tool Box (48228030)*	3	29.75	89.25
28	Milwaukee Packout Rolling Tool Box Set of 3 (Milwaukee Packout Tool Boxes #48-22-8424 48-22-8425 48-22-8426)*	3	229.95	689.85
29	Milwaukee Packout Back Mounting Plate (Milwaukee Packout Mounting Plate #48-22-8485)*	2	28.12	56.24

30	Milwaukee Packout Racking Kit 48-22-8480*	2	126.25	252.50
81	Klein Tool Bag, Deluxe Tool Bag, Black Canvas, 13 Pockets, 18-Inch 51028SPBLK*	2	93.00	186.00
82	Klien Tool Bag Pouches, Zipper Bags, High Visibility Tool Pouches, 2-Pack 55599*	2	23.38	46.76
86	Stanley FMHT55008 10 In FATMAX Claw Bar	2	10.69	21.38
89	Hacksaw, LENOX Hack Saw, Compact, 12 x 1/2 In, 24 TPI	2	32.15	64.30
90	Lenox Hacksaw Blades 10pk	2	16.00	32.00
91	Stanley Ball Pein Hammer Graphite Handle 16oz	2	25.22	50.44
92	Westward Steel Rip Claw Hammer 16.0z	2	23.86	47.72
93	Lenox Folding Jab Saw	2	19.38	38.76
94	Stanley Instant Change 6-5/8 in. Retractable Utility Knife Black/Gray	4	7.93	31.72
95	Stanley® Wall Mount Utility Knife Blade Dispenser w/Blades, 100/Pack	1	18.41	18.41
96	Milwaukee 12" Pipe Wrench Aluminum	2	40.25	80.50
97	Milwaukee 24" Pipe Wrench Aluminum	2	92.62	185.24
98	CHANNELLOCK Plier Set: 3 Pliers, Std Cushion Grip, Manua	2	47.45	94.90
99	CHANNELLOCK Linemans Plier, 8" L, Ergonomic	2	26.22	52.44
100	PROTO Slip Joint Plier: 3/4 in Max Jaw Opening, 8 in Overall Includes Wire Cutter	2	20.24	40.48
102	KLEIN TOOLS General Purpose Screwdriver Set, Phillips, Slotted, Ergonomic, Number of Pieces 7	2	56.00	112.00

103	KLEIN TOOLS General Purpose Screwdriver Set, Torx, Ergonomic, Number of Pieces 5	2	40.38	80.76
106	Milwaukee 35' Tape Measure (48-22-0235)	2	33.60	67.20
107	MILWAUKEE Aviation Snip Set, Left, Right, Straight, 10 in Overall Length (48-22-4533)	2	32.53	65.06
108	KLEIN TOOLS Wire Stripper: 18 AWG to 10 AWG, 7 1/8 in Overall Lg, Std Cushion Grip	2	14.25	28.50
109	PROTO SAE Combination Wrench Set, Alloy Steel, Black Chrome, 9 Number of Tools	2	189.00	378.00
110	PROTO METRIC Combination Wrench Set, Alloy Steel, Black Chrome, 10 Number of Tools	2	177.00	354.00
111	Stanley 12 in Hammer Stapler #PHT150C	2	32.88	65.76
112	CHANNELLOCK Adjustable Wrench Sets, Alloy Steel, Chrome, Jaw Capacity 15/16 in, 1 3/8 in, Yes	2	47.24	94.48
115	12" Channel Lock tounge and groove pliers #442*	1	16.76	16.76
141	Electrical Generator Honda Eu2200i*	2	1,049.00	2,098.00
156	Salvage Covers (Blue Tarp) 12'x18'	12	12.60	151.20
157	6mil Plastic Sheeting Roll 12x100'	2	57.75	115.50
159				
160				
<b>Total</b>				<b>22,085.02</b>

**RESOLUTION**

Page 1 of 1

Accepting Bid for  
Ladder Truck Equipment,  
Municipal Emergency Services, Inc.

Council Member HICKEY, Patrick J.  
Council Member OLNEY III, Clifford G.  
Council Member PIERCE, Sarah V.C.  
Council Member RUGGIERO, Lisa A.  
Mayor SMITH, Jeffrey M.

Total.....

YEA	NAY

***Introduced by***


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WHEREAS the City Purchasing Department has advertised and received sealed bids for Ladder Truck Equipment in Watertown, New York, as per City specifications, and

WHEREAS bid invitations were also issued to qualified bidders with four (4) sealed bids submitted to the Purchasing Department, and

WHEREAS on Thursday, February 16, 2022, at 2:00 p.m., the bids received were publicly opened and read, and

WHEREAS City Purchasing Manager Dale Morrow reviewed the bids received with the Fire Department, and it is their recommendation that the City Council accept the bid submitted by Municipal Emergency Services, Inc. of Liverpool, NY, in the amount of \$18,901. Attached are twenty-nine (29) items for reference, and

NOW THEREFORE BE IT RESOLVED that the City Council of the City of Watertown accepts the bid of Municipal Emergency Services, Inc. in the amount of \$18,901 per the attached listing which is made part of this resolution, and

BE IT FURTHER RESOLVED that the City Manager is hereby authorized and directed to sign all contracts associated with implementing the award to Municipal Emergency Services, Inc.

***Seconded by***

**Ladder Truck Equipment**  
**Bid #2022-05**  
**2/16/22 @ 2:00 PM**

			MES	
			Liverpool, NY	
Line	Description	Qty	Unit Price	Extended Cost
48	CMC MPD Decent Device 1/2" Rope Red (333000)*	1	705.00	705.00
49	Rock Exotica Omni Block 2.0 Swivel Double Pulley (P53D)*	4	171.00	684.00
50	Rock Exotica Omni Block 2.0 Swivel Single Pulley (P53)*	4	116.00	464.00
51	Pickoff Strap RNR #WPOS	2	34.00	68.00
54	PMI 8mm Prusik Cord Green/Blue 50 Meter (164') Spool	1	76.00	76.00
55	PMI 8mm Prusik Cord Red/Yellow 50 Meter (164') Spool	1	76.00	76.00
59	RIT Safety Solutions Large Chicago Bag Search Bag With 200' search line w/markers and 3 RETRACTABLE 20' tag lines (RIT-A1101)*	2	1,256.00	2,512.00
63	NRS Purest Mesh Duffel Bag Size 90L BLUE (55003.02)	1	49.00	49.00
64	Water Rescue Helmets L NRS Chaos Side Cut Yellow (42605.03)	3	59.00	177.00
65	Water Rescue Helmets XL NRS Chaos Side Cut Yellow (42605.03)	3	59.00	177.00
66	NRS Standard Rescue Throw Bag with 75' Orange polypropolyene rope (45103.01)	4	49.00	196.00

67	Water Rescue Type V Swimmers Vest	3	99.00	297.00
68	BIG SHOT Rescue Sling Shot Kit (- 2, 4 foot Jameson Fiberglass poles, one with a boot, big shot head, 16 oz Neo throw bag, 200 feet of NEON 3 throwline, Small Storage Bag)*	2	265.00	530.00
69	RESQMAX Swiftwater Rescue Rocket Kit (564020) (ResQmax Launcher with Folding Stock, Streamline Sling Projectile with 2 spare molded sling burst capsules 300 ft (91 m) x 5/16 in (8 mm) Polyspectra Line with large line container (9.8 kN/2,200 lbf test) Spares Kit, Corrosion Block Lubricant/Rust Inhibitor, 4 oz, Streamline Filler Hose Assembly, Cordura® Kit Carry Bag, Red/Black, Streamline Nozzle Protectors (pack of 5), CO2 Capsules and H2O Soluble Bobbins (Pack of 5), Operation Manual)*	1	2,471.00	2,471.00
70	Yates 371 Kevlar Truck Belt Standard Ladder Belt (Large)*	4	172.00	688.00
71	Yates 371KXL Kevlar Truck Belt XL Ladder Belt (Xtra-Large)*	2	197.00	394.00
72	Yates Kevlar Lanyard 828 KEVLAR TOWER/LADDER LANYARD W/ ALUM HOOKS - 12 FT. (Y828)*	4	245.00	980.00
75	RNR Mechanical Advantage MARS System (pre-packaged 4:1 mechanical advantage lifting-lowering system using a double camming pulley.) 100ft.*	1	805.00	805.00
79	RNR Litter Bridle W/ Carabiners (WLB-C)	1	154.00	154.00
113	Fire Hooks Unlimited K Tool Kit KTK (K-Tool, Two (2) Lock Key Tools, Shove Knife, Leather Pouch, Operation Manual)*	1	171.00	171.00
118	Fire Hooks Unlimited Hydra-Ram Forcible Entry Tool*	1	2,220.00	2,220.00
120	Fire Hooks Unlimited Composite Handle FA-8 Flat Head Axe 8lb*	3	122.00	366.00

122	Fire Hooks Unlimited 36' Bolt Cutter BC-X	1	95.00	95.00
123	Fire Hooks Unlimited 24" Bolt Cutter BC-X	1	79.00	79.00
136	MES Ventis Pro 5 multi-gas monitor With Integral Pump and desktop charger. (LEL (Pentane), CO/H2S, SO2, O2 sensor)*	2	1,741.00	3,482.00
143	Amerex B240 2.5 Gallon Water Pressure Fire Extinguisher	2	119.00	238.00
144	Amerex B262 Extinguisher Type K	2	228.00	456.00
145	Amerex A411 - 20 lb ABC Extinguisher w/ Aluminum Valve	1	126.00	126.00
146	Fire Hooks Unlimited "Can Harness" (ch-312)*	3	55.00	165.00
159				
160				
<b>Total</b>				<b>18,901.00</b>

Res No. 7

March 1, 2022

To: The Honorable Mayor and City Council

From: Kenneth A. Mix, City Manager

Subject: Re-adoption of the Fiscal Years 2021-22 through 2025-26 Capital Fund Budget – DRI Streetscape Project

The following resolution was prepared to re-adopt the Fiscal Years 2021-22 through 2025-26 Capital Fund Budget to include the increased estimated cost and expanded scope of the DRI Downtown Streetscape Project. The total cost will increase from \$1,600,000 to \$3,700,000. The additional cost will be funded from the City's available CHIPs funds and American Rescue Plan Act funds.

A total of \$75,000 of CHIPs funding was added to the project at the recommendation of Superintendent of Public Works, Patrick Keenan. Mr. Keenan is recommending that the repaving of Court Street, between Lachenauer Plaza and Arch Street be added to the project scope. This will improve the overall quality and aesthetics of the project and will address a major downtown street that was last repaved over 15 years ago.

The City Council will also note that the ARPA allocation has increased from \$1,563,000 that was discussed at the February 7, 2022, meeting to \$1,775,000. This increase is to cover construction inspection costs estimated at \$76,000 and to provide a budget contingency line item totaling \$136,000. The \$76,000 would pay for hiring a part time construction inspector (20 hrs./week) that would supplement the efforts of the City's Engineering Department. The \$136,000 would cover any unexpected costs that arise during construction.

**RESOLUTION**

Page 1 of 1

Re-Adoption of Fiscal Years 2020-21 through  
2024-25 Capital Budget – DRI Streetscape  
Project

Council Member HICKEY, Patrick J.

Council Member OLNEY III, Clifford G.

Council Member PIERCE, Sarah V.C.

Council Member RUGGIERO, Lisa A.

Mayor SMITH, Jeffrey M.

Total .....

YEA	NAY

***Introduced by***


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WHEREAS on June 1, 2020 the City Council adopted the Fiscal Years 2020-21 through 2024-25 Capital Budget, and

WHEREAS the Fiscal Years 2020-21 through 2024-25 Capital Budget included the Downtown Revitalization Initiative Streetscape Project at an estimated cost of \$1,500,000, and

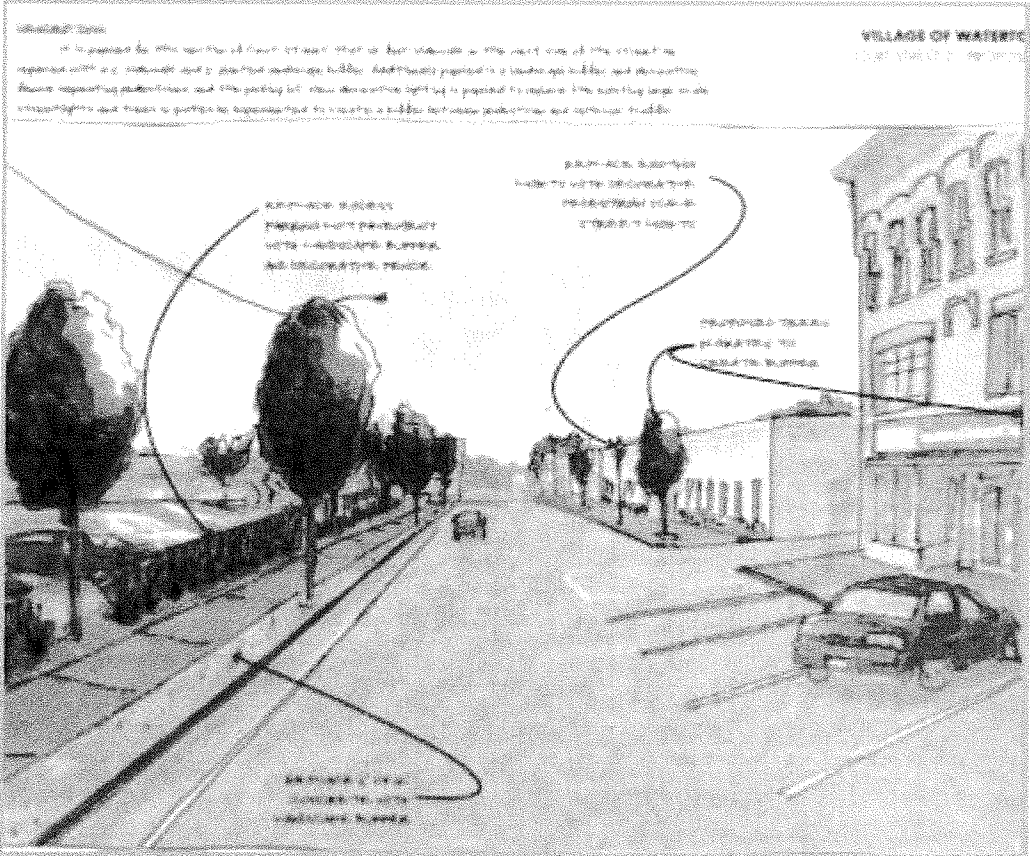
WHEREAS the current project scope has been expanded and the estimated cost of the project is now \$3,700,000, and

WHEREAS City Council desires to continue with the revised project scope and fund the funding deficit with American Rescue Plan Act funds,

NOW THEREFORE BE IT RESOLVED that the City Council of the City of Watertown hereby amends the Fiscal Years 2020-21 through 2024-25 Capital Budget to add an additional \$2,000,000 to the estimated cost of the Downtown Revitalization Initiative Streetscape project and to fund the additional costs from the New York Downtown Revitalization Initiative Grant (\$100,000), the American Rescue Plan Act funds awarded to the City (\$1,775,000) and a National Grid Urban Center/Commercial District Revitalization Program Grant (\$250,000).

***Seconded by***

# FISCAL YEAR 2020-2021 CAPITAL BUDGET FACILITY IMPROVEMENTS DOWNTOWN

PROJECT DESCRIPTION	COST
<p data-bbox="168 443 1179 527">Franklin Street, Washington Street, Court Street and Coffeen Street Streetscape Enhancement Project</p> <p data-bbox="159 562 1243 821">This project will involve the design and construction of streetscape enhancements to the 200 Block of Franklin St., the area around the Governor Roswell P. Flower Monument on Washington Street, Lachenauer Plaza and the 100-300 Blocks of Court St. and the 200 Block of Coffeen St. to make the public realm more inviting to pedestrians and strengthen the downtown business environment. Improvements in these areas will include site preparation, sidewalks, curbing, paving, crosswalks, bollards, lighting, landscaping, tree planting and drainage.</p>  <p data-bbox="152 1734 1237 1913">Funding to support this project will be through a Downtown Revitalization Initiative Grant through the NYS Department of State (\$1,600,000), an Urban Center/Commercial District Revitalization Program Grant from National Grid (\$250,000), CHIPS funds (\$75,000) and American Recue Plan Act funds (\$1,775,000).</p>	<p data-bbox="1276 443 1468 491">\$3,700,000</p>
<b>TOTAL</b>	<b>\$3,700,000</b>

March 1, 2022

To: The Honorable Mayor and City Council

From: Jennifer L. Voss, Senior Planner

Subject: Approving the Artist Agreement with David Grieco for the DRI Public Art Project

On January 18, 2022, City Council approved hiring David Grieco as the artist to complete the Downtown Revitalization Initiative (DRI) Art Project. The project includes the design, creation, construction, and installation of the sculpture designed by Mr. Grieco based on his proposal to the City, dated October 7, 2021. In response to suggestions by the Council at the January 18, 2022 meeting, a decorative cobblestone walkway is being added around the sculpture to enhance the visitor experience, as well as a freestanding legend, explaining the different aspects of the piece and its connection to the City's history.

Mr. Grieco's original proposal did not account for the cost of the artist's time, transport of the piece or rental space for creation of the large piece. As a resource for the City, he will also be including photo and video documentation throughout the creation, construction and installation of the piece for the City to share on social media to promote tourism downtown. At the request of the Council, he has also added the additional elements to the piece mentioned above, which are included in the not to exceed grant amount of \$155,000.

The project is being paid for with grant funds awarded through the DRI to create a Public Art project in Public Square. The grant will fund 100% of the project, with no match required from the City.

Staff has prepared an Artist Agreement between the City and Mr. Grieco to complete the project, which is attached. The agreement must be approved by City Council before he can move forward with the project. The attached resolution approves the Agreement and authorizes the Mayor to execute it on behalf of the City.

**RESOLUTION**

Page 1 of 1

Approving the Artist Agreement with David Grieco  
as the Artist for the DRI Public Art Project

***Introduced by***

Council Member HICKEY, Patrick J.

Council Member OLNEY III, Clifford G.

Council Member PIERCE, Sarah, V.C.

Council Member RUGGIERO, Lisa A.

Mayor SMITH, Jeffrey M.

Total .....

YEA	NAY

WHEREAS the City of Watertown was awarded \$155,000 through the Downtown Revitalization Initiative (DRI) to create a Public Art project in Public Square, and

WHEREAS the City published a Call for Artists on September 15, 2021 and reviewed the responses based on artistic excellence, design intent, completeness of their submissions and compatibility with the intent and vision of the project, and

WHEREAS the City Council approved selecting David Grieco at their meeting on January 18, 2022, as the artist and his proposed concept design for the sculpture to be placed in Public Square for the DRI Art Project, and

WHEREAS an Artist Agreement has been negotiated and prepared between the City of Watertown and David Grieco,

NOW THEREFORE BE IT RESOLVED that the City Council of the City of Watertown, New York hereby approves the Agreement between the City and David Grieco, a copy of which is attached and made part of this resolution, to design, create, construct and install a sculpture on the east end of the island in Public Square, and

BE IT FURTHER RESOLVED that the Mayor, Jeffrey M. Smith, is hereby authorized and directed to execute the Agreement on behalf of the City.

***Seconded by***

## **ARTIST AGREEMENT City of Watertown**

**THIS AGREEMENT** is entered into by and between the City of Watertown, hereinafter referred to as the "City," and David Grieco, hereinafter referred to as "the Artist." The Artist and the City agree to the terms and conditions of this Agreement.

### **EFFECTIVE DATE AND TERM**

**A. Effective Date.** This contract shall not be valid or enforceable until the effective date. The City shall not be bound by any provision of this contract before the effective date, and shall have no obligation to pay the artist for any expense incurred before the effective date or after the expiration or termination of this contract.

**B. Term.** This contract and the parties respective performance shall commence on the effective date and expire on upon acceptance of the work by the City, but no later than December 31, 2023.

### **DEFINITIONS**

**A. "Effective Date"** means the date on which this contract is approved and signed by the City, as shown on the signature page of this contract.

**B. "Party"** means the city or artist and "parties" means both the city and artist.

### **THE WORK**

The Artist agrees to perform and to furnish artistic services for the City as hereinafter set forth in this Agreement, and as reflected in the Artist's proposal dated October 7, 2021 and attached hereto as Exhibit B and incorporated herein.

The Artist shall provide all labor and materials necessary to perform the work as set forth in the proposal.

#### **1. CONFORMANCE TO PROPOSAL**

The Artist shall execute the work of art (hereinafter referred to as the "Work") in accordance with the attached artists proposal. Any changes in the proposed agreement shall be described by the Artist in writing and the City shall determine whether the change is significant within 5 days. Any significant changes in the scope, design, or materials of the proposed Work shall require review and approval by the City.

#### **2. WARRANTY OF ORIGINALITY**

The Artist represents and warrants that the Work is the original product of his own creative effort. The Artist also represents and warrants that the Work is original, that it is an edition of one (1), that the Work has not been accepted for sale elsewhere, and that the Artist shall not sell or reproduce the Work without the prior written consent of the City.

### **3. PAYMENTS FOR SERVICE**

**A.** The City agrees to pay the Artist as compensation for such services a firm fixed price not to exceed the DRI grant amount of \$155,000. This amount includes the complete cost of designing and creating the work, artist travel, managing foundry execution of, and installation of the Work, along with photographic and written documentation and social media posting.

**B.** Eligible costs include the final design and soft costs related to the creation of one or more art installations, artist fees, as well as costs associated with the construction and permanent installation of one or more pieces.

Eligible uses of funds also include walkways, permanent landscaping, fences and foundations associated with the permanent art installation. Permanent seating for viewing the public art pieces will be an eligible use of funds, as long as all pieces are viewable from the public right-of-way.

Ineligible use of funds:

- Repayment of debt used for the equity portion of the project.
- Appliances, business equipment and non-permanent fixtures.
- Septic systems, parking lots, or general maintenance.
- Work that in the City's opinion is inconsistent or detracts from the character of the DRI District, or that is otherwise reasonably objective.
- Projects that do not further the priorities of the City's Downtown Revitalization Initiative.

**C.** It is understood that the City has no obligations regarding sales commissions, or to any agreements with galleries or agents with whom the Artist may have contracted.

**D.** Payments for the Artist's services shall be made no more often than monthly upon presentation of a statement of services rendered for each payment requested. All costs submitted by the Artist for reimbursement will be documented on invoices showing a detailed breakdown of expenditures to ensure cost reasonableness. Costs incurred prior to the effective date of the grant agreement will not be eligible for reimbursement.

**E.** The Artist shall be entirely responsible for cost control. No extra payments will be allowed as a result of cost overruns related to creation of the Work outlined in the artist's proposal.

### **4. AGREEMENT DOCUMENTS**

The Agreement Documents are hereby adopted, incorporated by reference, and made part of this Agreement. The intention of the Agreement Documents is to establish the necessary terms, conditions, labor, materials, equipment, and other items necessary for the proper execution and completion of the Work to ensure the intended results.

**Exhibit A** – Call for Artists

**Exhibit B** – Artist Response to Request for Proposals dated October 7, 2021

**Exhibit C** - Tree Protection Detail

### **5. TIME FOR PERFORMANCE OF THE WORK**

The Artist agrees that timely performance is an essential and important element of this contract and further agrees to perform the Work in accordance with the schedule as agreed to and set forth in the artist's proposal and within the terms outlined above.

## **6. EXTENSION OF TIME FOR COMPLETION OF WORK**

If the Artist is delayed by the City in the performance of the Work, through no fault of the Artist, the artist's sole remedy shall be an appropriate time extension for completion granted by mutual agreement.

## **7. INDEPENDENT CONTRACTOR STATUS OF THE ARTIST**

The Artist acknowledges that he is an independent contractor and not an employee or agent of the City. The Artist shall make no representations to any third party on behalf of the City, and shall have no power to bind the City to any representation or agreement the Artist may make.

## **8. INSPECTION OF THE WORK**

All work constructed or supervised by the Artist shall be subject to inspection and approval by the City for the purpose of confirming that the Work has been performed as required by this contract and is in conformance with the artist's proposal. The Artist shall provide the City all information concerning the Work and provide free access at all reasonable times to the facilities where the Work is being constructed. Inspection does not constitute a waiver of responsibility of the Artist.

## **9. RISK OF LOSS OR DAMAGE**

The risk of loss or damage to the Work shall be borne by the Artist until final acceptance, and the Artist shall take such measures as necessary to protect the Work from loss or damage until final acceptance of the Work.

## **10. LIABILITY FOR INJURY AND DAMAGE**

The Artist shall protect the project, adjacent property, and the public until final acceptance of the Work. The Artist shall be responsible for damage, loss, or injury due to the Artist's, (or Artist's subcontractors', agents', servants', employees', invitees', visitors' or guests', or other person's in, upon, or about the Work) act, omission, or neglect, and shall save the City harmless in respect thereto. The Artist (and or his subcontractors, agents, servants, employees, invitees, visitors or guests, or other persons in, upon, or about the Work) shall indemnify, defend, and hold harmless the City from any and all liability, loss, cost, damage, or expense sustained by reason of the injury or death of any person, and/or damage to or destruction of any property caused by any act, omission, or neglect of the Artist or his subcontractors, agents, servants, employees, invitees, visitors or guests, or other person in, upon, or about the Work, including reasonable attorney's fees and other litigation expenses.

### **Tree Protection**

Without written permission from the Superintendent of Public Works or his urban forestry designee, no person or City Agency shall: (1) Undertake any construction or development activity (including but not limited to the excavation of any ditches, tunnels, or trenches or the laying of pavement; excluding emergency repairs) within the dripline of any City tree. (2) Move or park vehicles associated within any construction, maintenance, development activity or any other activity within the dripline of any tree on City property. \* If vehicles or other motorized equipment are required for instillation purposes, a drive path must be identified and Alter-a-mats, or other sod protection mats shall be used. A substantial fence, frame or box not less than four (4) feet high shall be placed at the tree's dripline or at a distance prescribed by the urban forestry designee. All building material, gravel, soil or debris shall be kept outside these barriers.

No person or City Agency shall deposit, place, store or maintain upon any public place of the City any stone, brick, sand, concrete or other materials, which may impede the free passage of water, air and fertilizer to the roots of any tree growing thereon.

## **11. INSURANCE**

Prior to beginning any work, the Artist and any subcontractors working on the project on behalf of the artist shall obtain the following insurance coverage from an insurance company registered and licensed to do business in the State of New York.

Comprehensive General Liability Insurance including Completed Operations, Property Damage in the amount of \$10,000, and Personal Injury coverage containing limits of \$1,000,000 per occurrence and \$2,000,000 in the aggregate.

Automobile Liability Insurance covering all motor vehicles, including owned, non-owned and hired, used in connection with the performance of the agreement each policy providing coverage with a combined single limit of not less than \$1,000,000 per occurrence.

Workers' Compensation: With respect to all operations performed, the Artist and/or any of the artist's subcontractors shall carry workers compensation insurance in accordance with the laws of the State of New York.

The Artist's Certificate of Insurance shall name the City as an additional insured, and/or loss payee, as applicable, and the Waiver of Subrogation box must be selected for Commercial General Liability (CGL), Workers' Comp. and Employer's Liability

## **12. INSTALLATION OF WORK**

Installation and fabrication of work shall be coordinated with the City and carried out by the Artist and Artist's necessary subcontractors as determined by the City and the Artist.

## **13. INSTALLATION DRAWINGS AND MAINTENANCE INSTRUCTIONS**

The Artist shall furnish the City, along with the written notification of completion of the Work, an "as built" diagram detailing how the Work has been installed, and a written set of instructions for the permanent maintenance and care of the Work.

## **14. FINAL ACCEPTANCE AND RELEASE OF CLAIMS**

The Artist agrees to deliver the Work to the City free and clear of any liens and claims, arising from any source whatsoever. The City shall withhold final acceptance and final payment until the Artist furnishes the City with lien releases from any and all subcontractors employed on the project.

## **15. OWNERSHIP**

Title shall vest in the City upon completion of installation and final acceptance of the Work by the City.

## **16. REPRODUCTION RIGHTS**

Upon Final Acceptance and transfer of ownership from the artist to the City, the Artist shall retain all rights under federal copyright law and all other rights in and to the Work except ownership and possession, and except such rights as are limited by this Agreement. In view of the intention that the Work in its final dimension shall be unique, the Artist shall not make any exact duplicate reproductions of the Work, nor shall the Artist grant permission to others to do so except with the written permission of the City.

The Artist grants to the City and its assigns an irrevocable license to make two-dimensional reproductions of the Work for use in any and all media, means, methods or processes, now known or hereafter devised for non-commercial purposes, including, but not limited to, reproductions used in advertising, brochures, stationary, media publicity, and catalogues or other similar publications.

The Artist further grants to the City the right to photograph, reprint, use, post or display the Artwork, in whole or in part, on any City owned internet website in any format and by any means or medium including, but not limited to, posting, displaying, publishing and/or reprinting on the internet from the date of this Agreement onward.

Artist shall provide written notice to the City of all intellectual property registrations of the Work (copyright, trademark, etcetera). If the Artist has copyrighted the Work, all reproductions by the City shall contain a credit to the Artist and a copyright notice substantially in the following form: Copyright, Artist's name, all rights reserved, date, in such manner and location as shall comply with the U.S. Copyright laws. The Artist agrees to give a credit substantially in the following form: "Original owned by the City of Watertown, New York" in any public showing of reproductions of the Work. Responsibility for registration with the United States Register of Copyrights shall rest with the Artist.

#### **17. ALTERATION OF THE SITE**

**A.** The Artist shall be given reasonable opportunity to make repairs and restorations at a reasonable fee. A reasonable fee would be a fee within the range that comparable artists would charge to perform the same work.

**B.** Nothing in this agreement shall preclude the right of the City to remove from public display, sell, or destroy the Work.

#### **18. AMENDMENTS AND CHANGE ORDERS**

Any increases or decreases in the scope and fixed price of the project, extensions of completion dates, substantial alterations of the proposal and/or the finished Work, with or without a change in price, and amendments or modifications to other items of this Agreement or to the Work, can only be accomplished by Change Order. The City will initiate the Change Order, supported by written requests and documentation from any party of the Agreement, and it will be signed by all these parties to be executed and made a part of this Agreement. Notwithstanding the foregoing Artist shall not be entitled to any damages related to the delay of performance of this agreement for any reason whatsoever.

#### **19. ENTIRE AGREEMENT**

This writing, the attached Artist's Proposal, and the attached agreement and documents between the City and artist, embody the entire agreement and understanding between the parties hereto, and there are no other agreements or understandings, oral or written with reference to subject matter hereof that are not merged and superseded hereby.

#### **20. NONASSIGNABILITY**

Artist recognizes that the essence of this Agreement is that the work will be performed by him and that the Artist is prohibited for assigning the work to any other person or entity.

-----  
David Grieco, Date  
Artist

-----  
Jeffrey M. Smith, Date  
Mayor

Res. No. 9

March 2, 2022

To: The Honorable Mayor and City Council  
From: Kenneth A. Mix, City Manager  
Subject: Informing Watertown Golf Club About Parking Restrictions

Council Member Clifford Olney requested the attached resolution.

# RESOLUTION

Page 1 of 1

Informing Watertown Golf Club  
About Parking Restrictions

Council Member HICKEY, Patrick J.  
Council Member OLNEY III, Clifford G.  
Council Member PIERCE, Sarah V.C.  
Council Member RUGGIERO, Lisa A.  
Mayor SMITH, Jeffrey M.

Total.....

YEA	NAY

***Introduced by***

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BE IT RESOLVED that Watertown Golf Club, Inc. is informed that parking by its employees, golfers and visitors to its club, will be limited to the property boundaries that are owned or leased by Watertown Golf Club, Inc.

***Seconded by***

February 28, 2022

To: The Honorable Mayor and City Council

From: Kenneth A. Mix, City Manager

Subject: Authorizing Public Auction for Sale of City Owned Properties

A resolution authorizing a public auction to sell City owned vacant lots has been prepared for City Council consideration. Staff does not feel there are any municipal purposes in continuing to own these parcels. The City has acquired most of these parcels due to its tax sale process. The resolution includes the list of parcels and a minimum bid for each parcel.

The auction will be held on March 28<sup>th</sup> at 6:00 p.m. A public notice of the auction must be published once a week in the Watertown Daily Times for three weeks. All bids received at the public auction will then be presented to City Council on April 4<sup>th</sup> as separate resolutions to accept or reject the offers.

This resolution only includes vacant parcels and no houses owned by the City.

The City owns these houses:	Parcel No.	Address
	1-15-204.000	531 Bradley Street
	12-07-321.000	703 Franklin Street
	11-09-123.000	802 Franklin Street
	02-02-216.000	219 West Lynde Street
	10-10-147.000	427 Mullin Street
	06-08-167.000	135 Rutland Street North

Last fall, the City Council agreed with Staff's suggestion that the City sell the houses through a Request for Proposal (RFP) process, instead of auctioning them. The concern with the usual method is that often minimal improvements are made after the sale, and the properties continue to have a negative effect on the neighborhood in which they are located. There is also a high probability that any owner-occupied properties will be turned into rental units, rather than remaining owner occupied.

Under the RFP process, there would be a rating system developed that will take into consideration the buyer's rehab experience, the amount proposed to be invested, the proposed tenancy (rental or owner-occupied), and the proposed purchase price. A respondent with extensive experience completing quality rehabs would score higher than someone with little to no experience. Similarly, a developer proposing to invest a significant amount of money into a property to complete major upgrades such as a new roof, windows, siding, electrical and plumbing for example, would score higher than someone just proposing to paint the interior. The ranking system would also be applied to the other various criteria noted above.

Staff would develop the RFP, advertise the project, and send it to local developers and contractors for consideration. After proposals are submitted, Staff would rank the proposals and present the highest ranked one for each property to the City Council for approval of the sale.

Prior to developing the RFP and moving forward with the project, Staff wants to confirm that this is still the direction that the City Council would like to proceed. If the Council wishes to auction the houses instead, they should be added to the resolution.

We've received an offer for a private sale of 248 Moulton Street from the owner of 244 Moulton Street. They use it as a driveway and built a fence on it. See attached letter. I've also been contacted about 506 Binsse Street but have not received an offer yet.

**RESOLUTION**

Page 1 of 4

Authorizing Public Auction for Sale  
of City Owned Properties

Council Member HICKEY, Patrick J.

Council Member OLNEY III, Clifford G.

Council Member PIERCE, Sarah V.C.

Council Member RUGGIERO, Lisa A.

Mayor SMITH, Jeffrey M.

Total .....

YEA	NAY

***Introduced by***

WHEREAS the City of Watertown owns certain lots of land acquired at Tax Sale and designated on the map of the Department of Assessment and Taxation of the City of Watertown, New York as follows:

<u>Parcel Number</u>	<u>Address</u>
01-10-310.000	103 Alexandria Avenue
09-01-123.000	551 Arsenal Street
09-01-122.000	561 Arsenal Street
01-03-112.000	506 Binsse Street
12-05-217.000	603 Boyd Street
11-12-128.000	330 Brett Street
07-07-304.000	330 Coffeen Street
09-01-119.000	117 Exchange Street
06-06-319.000	632 Factory Street
11-12-130.001	VL Flower Avenue East
03-06-207.000	M24 Francis Street
09-42-103.000	314 Haney Street
03-12-133.000	VL Haven Street
06-03-307.000	121 High Street
05-16-320.200	140 Hinds Avenue
06-04-115.000	512 Jefferson Street
01-01-115.000	549 Leray Street
02-01-307.000	230 Main Avenue
02-01-308.000	242 Main Avenue
02-01-309.000	246 Main Avenue
04-02-123.000	510 Main Street East
01-14-105.000	428 Maple Avenue
02-09-115.000	759 Mill Street
03-01-109.000	248 Moulton Street
06-07-206.000	659 Olive Street

**RESOLUTION**

Page 2 of 4

Authorizing Public Auction for Sale  
of City Owned Properties

Council Member HICKEY, Patrick J.

Council Member OLNEY III, Clifford G.

Council Member PIERCE, Sarah V.C.

Council Member RUGGIERO, Lisa A.

Mayor SMITH, Jeffrey M.

Total .....

YEA	NAY

04-19-207.000	39 Wise Street
04-19-206.000	40 Wise Street
05-11-304.001	VL-4 Rear Wyoming Avenue
05-11-308.001	VL-6 Rear Wyoming Avenue

And,

WHEREAS title said land has been retained by the City of Watertown, and

WHEREAS the City Council deems the properties to be excess and not required for any City purposes, and

WHEREAS the City Council desires to ensure that properties such as those listed above be brought into compliance with all applicable provisions of the New York State Fire Prevention and Building Code and all City of Watertown zoning and health codes within one (1) year of their sale to subsequent buyers,

NOW THEREFORE BE IT RESOLVED that pursuant to Section 23, Subdivision (b) of the General City Law, Section 247 of the Charter of the City of Watertown as amended by Local Law No. 1, 1985, adopted December 3, 1984, effective January 17, 1985, and the ordinance, Municipal Code, Chapter 13 adopted by the Council, on June 6, 1977, the Comptroller of the City of Watertown be and he hereby is authorized to publish a Notice of Sale of the parcels of land above mentioned once a week for three (3) consecutive weeks in the official newspaper of the City of Watertown to the effect that said parcels of land will, at 10:00 a.m. on the 28<sup>th</sup> day of March, 2022, in the 3<sup>rd</sup> Floor City Council Chambers in the Municipal Building, 245 Washington Street, be offered individually for sale to the highest bidder and there present, under the conditions herein set forth:

The aforesaid parcels are conveyed, together with all rights and privileges affecting the same, and also together with all buildings, improvements and appurtenances located upon said described parcels, and

**RESOLUTION**

Page 3 of 4

Authorizing Public Auction for Sale  
of City Owned Properties

Council Member HICKEY, Patrick J.

Council Member OLNEY III, Clifford G.

Council Member PIERCE, Sarah V.C.

Council Member RUGGIERO, Lisa A.

Mayor SMITH, Jeffrey M.

Total .....

YEA	NAY

BE IT FURTHER RESOLVED that the City Comptroller be and he hereby is authorized to accept bids for said parcels, in an amount not less than the minimum price set below, subject to the rights of the said City Council to reject any and all bids, and

<u>Parcel Number</u>	<u>Address</u>	<u>Minimum Bid</u>
01-10-310.000	103 Alexandria Avenue	\$ 100
09-01-123.000	551 Arsenal Street	\$ 1,000
09-01-122.000	561 Arsenal Street	\$ 1,000
01-03-112.000	506 Binsse Street	\$ 1,000
12-05-217.000	603 Boyd Street	\$ 1,000
11-12-128.000	330 Brett Street	\$ 5,500
07-07-304.000	330 Coffeen Street	\$ 1,000
09-01-119.000	117 Exchange Street	\$ 500
06-06-319.000	632 Factory Street	\$ 3,000
11-12-130.001	VL Flower Avenue East	\$ 100
03-06-207.000	M24 Francis Street	\$ 100
09-42-103.000	314 Haney Street	\$ 1,000
03-12-133.000	VL Haven Street	\$ 200
06-03-307.000	121 High Street	\$ 250
05-16-320.200	140 Hinds Avenue	\$ 25,000
06-04-115.000	512 Jefferson Street	\$ 500
01-01-115.000	549 Leray Street	\$ 500
02-01-307.000	230 Main Avenue	\$ 1,000
02-01-308.000	242 Main Avenue	\$ 100
02-01-309.000	246 Main Avenue	\$ 100
04-02-123.000	510 Main Street East	\$ 100
01-14-105.000	428 Maple Avenue	\$ 500
02-09-115.000	759 Mill Street	\$ 600
03-01-109.000	248 Moulton Street	\$ 1,500
06-07-206.000	659 Olive Street	\$ 2,500
04-19-207.000	39 Wise Street	\$ 500
04-19-206.000	40 Wise Street	\$ 100
05-11-304.001	VL-4 Rear Wyoming Avenue	\$ 100
05-11-308.001	VL-6 Rear Wyoming Avenue	\$ 100

# RESOLUTION

Page 4 of 4

Authorizing Public Auction for Sale  
of City Owned Properties

Council Member HICKEY, Patrick J.

Council Member OLNEY III, Clifford G.

Council Member PIERCE, Sarah V.C.

Council Member RUGGIERO, Lisa A.

Mayor SMITH, Jeffrey M.

Total .....

YEA	NAY

BE IT FURTHER RESOLVED that the highest bidder deposit at least 10 percent (10%) of the bid price at the same time of each said successful bid with the City Comptroller, and

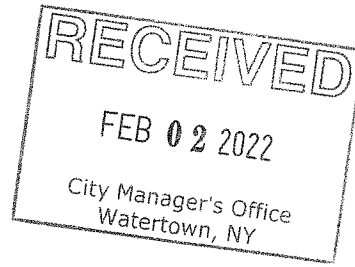
BE IT FURTHER RESOLVED that said parcels of land shall be then sold to the successful bidder for cash or certified funds only, and

BE IT FURTHER RESOLVED that the Notice of Sale, any offer to purchase, and any deed issued by the City contain a provision that if the property sold is not brought into compliance with all applicable provisions of the State Fire Prevention and Building Code and all City of Watertown zoning and health codes within one (1) year of the City's delivery of the deed to the buyer, the City shall have the right to seek reversion of title to the City, and

BE IT FURTHER RESOLVED that the said bids shall be submitted to the Mayor and City Council for their approval or rejection, and

BE IT FURTHER RESOLVED that the City reserves the right to withdraw any parcel prior to the public sale of said parcels.

*Seconded by*



February 2, 2022

To whom it may concern

Mason & Associates Holdings LLC would like to purchase the parcel of land at 248 Moulton Street, Watertown, NY 13601. I see the property last assessed for close to 1500. We currently own 244 and 246 Moulton, 248 acts as a driveway to the already purchased property and a fence was built mistakenly on the overlapping property. To avoid any further issues or removal of the fence we would like to go ahead and purchase the other parcel of land.

Destany Payment

315-254-4059

Executive Assistant

Mason & Associates Holdings LLC

offer

Destany Payment 2/2/22



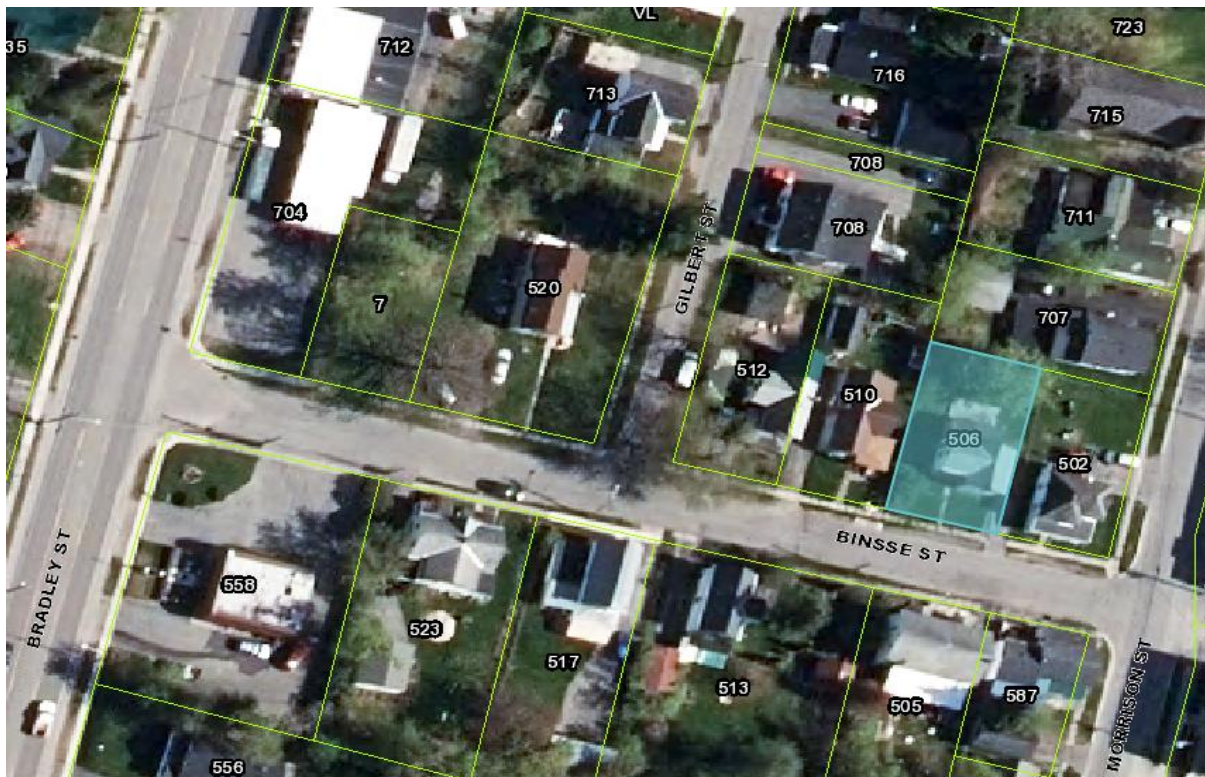
<u>Parcel #</u>	<u>Parcel #</u>	<u>Site Property Class</u>	<u>Lot size</u>	<u>Zoning</u>	<u>Assessed Value</u>	<u>Minimum Bid</u>
551 Arsenal Street	9-01-123.000	Residential Vacant with Improvements	34' x 180'	Commercial	\$10,200	\$1,000



<u>Parcel #</u>	<u>Parcel #</u>	<u>Site Property Class</u>	<u>Lot size</u>	<u>Zoning</u>	<u>Assessed Value</u>	<u>Minimum Bid</u>
561 Arsenal Street	9-01-122.000	Residential Vacant	40' x 135'	Commercial	\$7,600	\$1,000



<u>Parcel #</u>	<u>Parcel #</u>	<u>Site Property Class</u>	<u>Lot size</u>	<u>Zoning</u>	<u>Assessed Value</u>	<u>Minimum Bid</u>
506 Binsse Street	1-03-112.000	Residential Vacant	50' x 80'	Residential C	\$6,400	\$1,000



<u>Parcel #</u>	<u>Parcel #</u>	<u>Site Property Class</u>	<u>Lot size</u>	<u>Zoning</u>	<u>Assessed Value</u>	<u>Minimum Bid</u>
603 Boyd Street	12-05-217.000	Residential Vacant	37' x 66'	Commercial	\$5,700	\$1,000



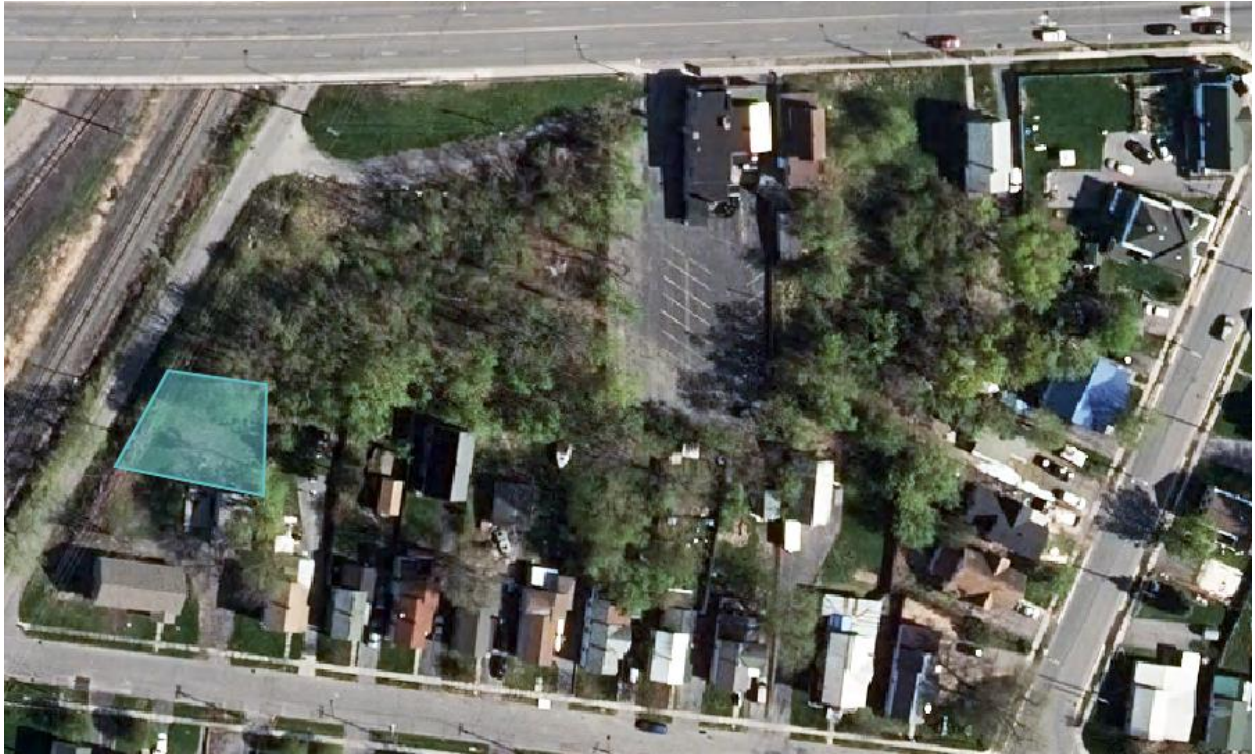
Parcel #	Parcel #	Site Property Class	Lot size	Zoning	Assessed Value	Minimum Bid
330 Brett Street	11-16-128.000	Residential Vacant	50' x 311'	Residential A	\$11,200	\$5,500



<u>Parcel #</u>	<u>Parcel #</u>	<u>Site Property Class</u>	<u>Lot size</u>	<u>Zoning</u>	<u>Assessed Value</u>	<u>Minimum Bid</u>
330 Coffeen Street	7-07-304.000	Vacant Commercial	61' x 92'	Commercial	\$11,400	\$1,000



<u>Parcel #</u>	<u>Parcel #</u>	<u>Site Property Class</u>	<u>Lot size</u>	<u>Zoning</u>	<u>Assessed Value</u>	<u>Minimum Bid</u>
117 Exchange Street	9-01-119.000	Residential Vacant	66' x 75'	Residential C	\$5,300	\$500



<u>Parcel #</u>	<u>Parcel #</u>	<u>Site Property Class</u>	<u>Lot size</u>	<u>Zoning</u>	<u>Assessed Value</u>	<u>Minimum Bid</u>
632 Factory Street	6-06-319.000	Residential Vacant	65' x 193'	Neighborhood Business	\$9,000	\$3,000



Parcel #	Parcel #	Site Property Class	Lot size	Zoning	Assessed Value	Minimum Bid
VL Flower Avenue East	11-12-130.001	Residential Vacant	14' x 145'	Residential B	\$1,400	\$100



<u>Parcel #</u>	<u>Parcel #</u>	<u>Site Property Class</u>	<u>Lot size</u>	<u>Zoning</u>	<u>Assessed Value</u>	<u>Minimum Bid</u>
M24 Francis Street	3-06-207.000	Residential Vacant	.94 acre	Residential B	\$700	\$100



<u>Parcel #</u>	<u>Parcel #</u>	<u>Site Property Class</u>	<u>Lot size</u>	<u>Zoning</u>	<u>Assessed Value</u>	<u>Minimum Bid</u>
314 Haney Street	9-42-103.000	Residential Vacant	180' x 330'	Residential A	\$3,550	\$1,000



<u>Parcel #</u>	<u>Parcel #</u>	<u>Site Property Class</u>	<u>Lot size</u>	<u>Zoning</u>	<u>Assessed Value</u>	<u>Minimum Bid</u>
V162 Haven Street	3-12-133.000	Residential Vacant	50' x 160'	Residential A	\$1,750	\$200



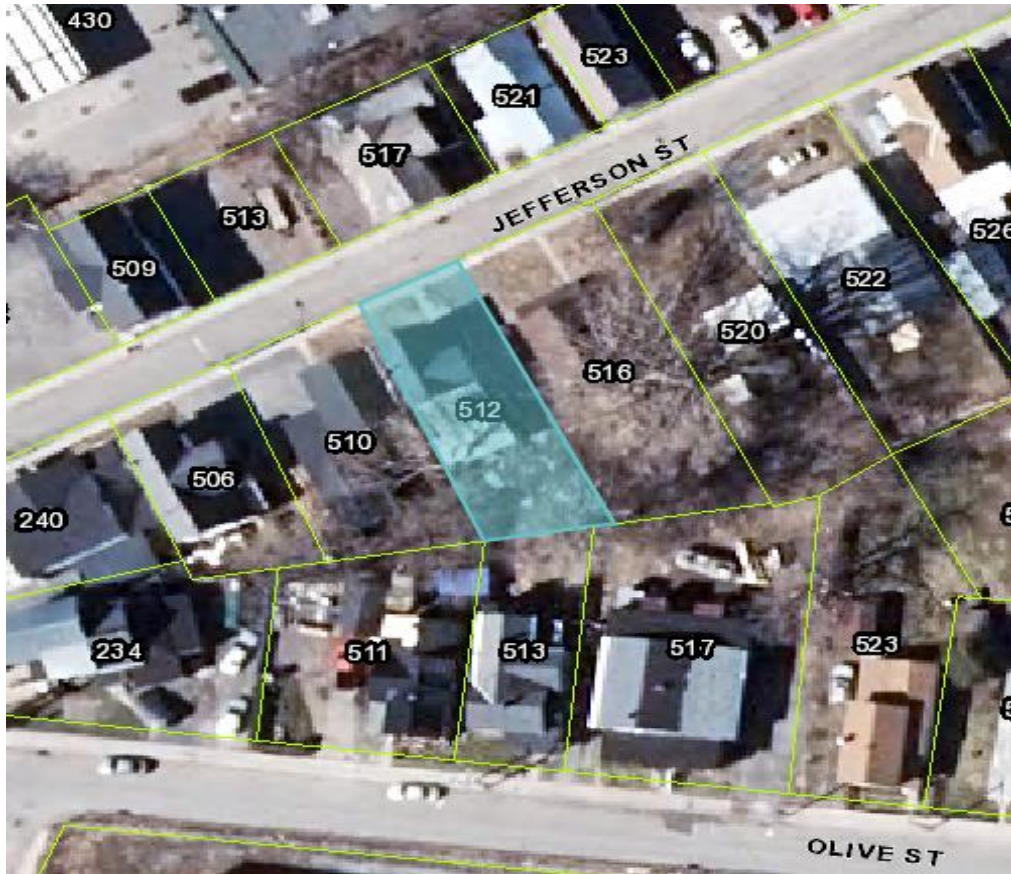
<u>Parcel #</u>	<u>Parcel #</u>	<u>Site Property Class</u>	<u>Lot size</u>	<u>Zoning</u>	<u>Assessed Value</u>	<u>Minimum Bid</u>
121 High Street	6-03-307.000	Commercial Vacant	36' x 68'	Commercial	\$700	\$250



<u>Parcel #</u>	<u>Parcel #</u>	<u>Site Property Class</u>	<u>Lot size</u>	<u>Zoning</u>	<u>Assessed Value</u>	<u>Minimum Bid</u>
140 Hinds Avenue	5-16-320.200	Commercial Vacant	.99 acres	Commercial	\$138,600	\$25,000



<u>Parcel #</u>	<u>Parcel #</u>	<u>Site Property Class</u>	<u>Lot size</u>	<u>Zoning</u>	<u>Assessed Value</u>	<u>Minimum Bid</u>
512 Jefferson Street	6-04-115.000	Residential Vacant	35' x 95'	Residential C	\$4,500	\$500



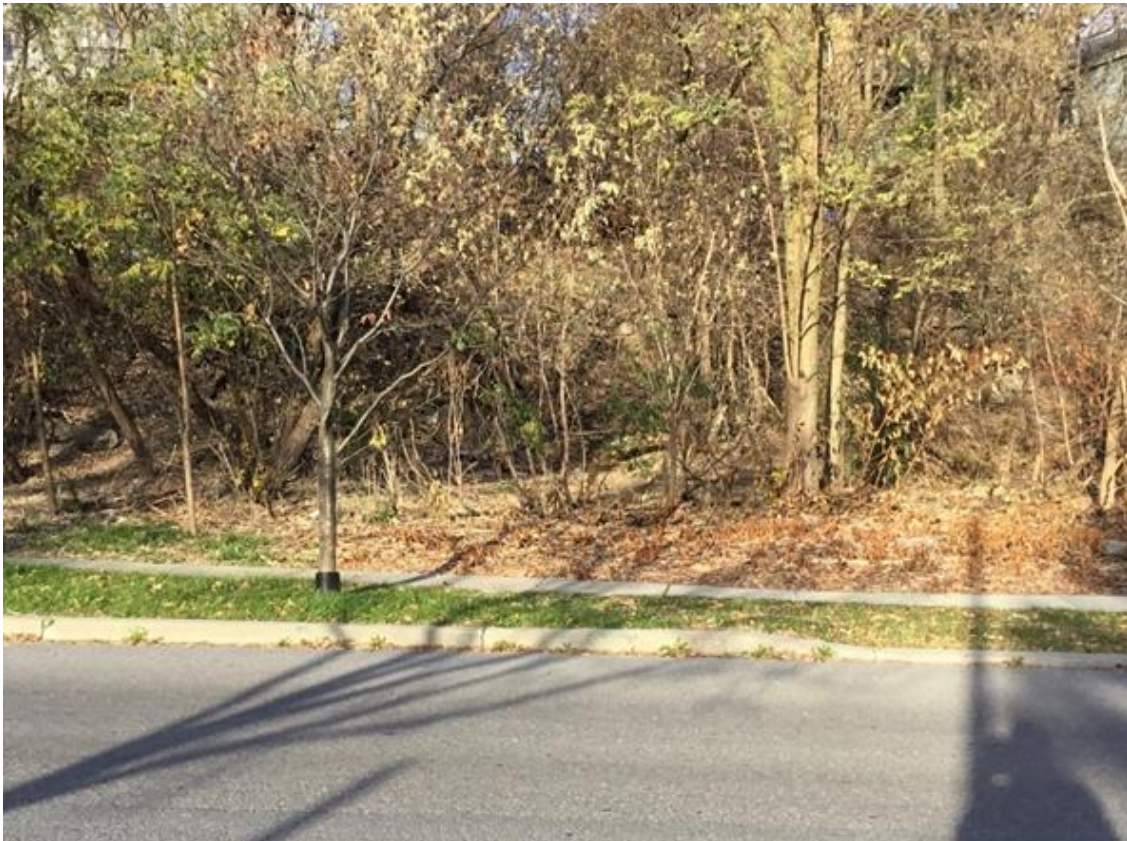
<u>Parcel #</u>	<u>Parcel #</u>	<u>Site Property Class</u>	<u>Lot size</u>	<u>Zoning</u>	<u>Assessed Value</u>	<u>Minimum Bid</u>
549 Leray Street	1-01-115.000	Residential Vacant	50' x 190'	Neighborhood Business	\$9,400	\$500



<u>Parcel #</u>	<u>Parcel #</u>	<u>Site Property Class</u>	<u>Lot size</u>	<u>Zoning</u>	<u>Assessed Value</u>	<u>Minimum Bid</u>
230 Main Avenue	2-01-307.000	Commercial Vacant	66' x 125'	Light Industry	\$6,250	\$1,000



<u>Parcel #</u>	<u>Parcel #</u>	<u>Site Property Class</u>	<u>Lot size</u>	<u>Zoning</u>	<u>Assessed Value</u>	<u>Minimum Bid</u>
242 Main Avenue	2-01-308.000	Commercial Vacant	31' x 80'	Light Industry	\$950	\$100



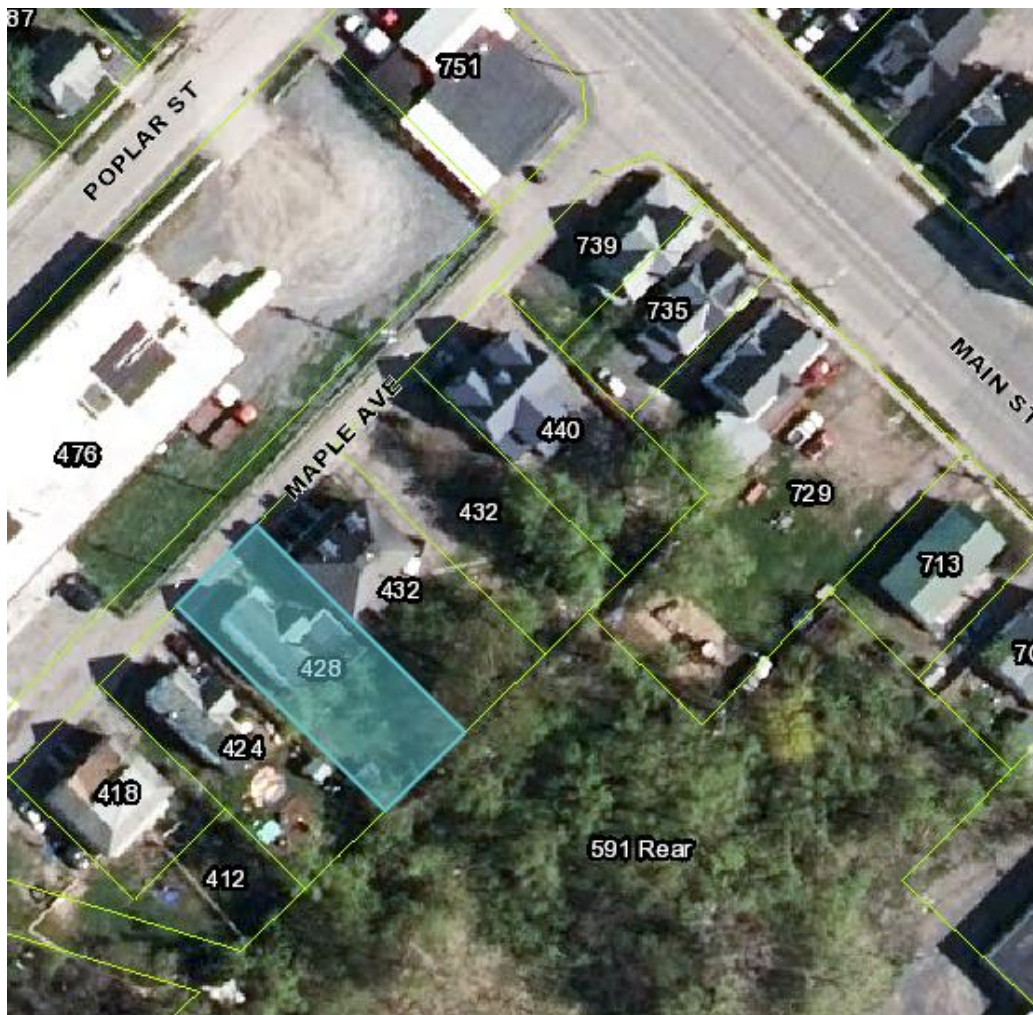
<u>Parcel #</u>	<u>Parcel #</u>	<u>Site Property Class</u>	<u>Lot size</u>	<u>Zoning</u>	<u>Assessed Value</u>	<u>Minimum Bid</u>
246 Main Avenue	2-01-309.000	Commercial Vacant	31' x 40'	Commercial	\$700	\$100



<u>Parcel #</u>	<u>Parcel #</u>	<u>Site Property Class</u>	<u>Lot size</u>	<u>Zoning</u>	<u>Assessed Value</u>	<u>Minimum Bid</u>
510 Main Street E	4-02-123.000	Residential Vacant	30' x 70'	Neighborhood Business	\$1,100	\$100



Parcel #	Parcel #	Site Property Class	Lot size	Zoning	Assessed Value	Minimum Bid
428 Maple Avenue	1-14-105.000	Residential Vacant	50' x 129'	Neighborhood Business	\$8,100	\$500



Parcel #	Parcel #	Site Property Class	Lot size	Zoning	Assessed Value	Minimum Bid
759 Mill Street	2-09-115.000	Residential Vacant	48' x 150'	Residential C	\$10,000	\$600



<u>Parcel #</u>	<u>Parcel #</u>	<u>Site Property Class</u>	<u>Lot size</u>	<u>Zoning</u>	<u>Assessed Value</u>	<u>Minimum Bid</u>
248 Moulton Street	3-01-109.000	Residential Vacant	47' x 90'	Residential C	\$1,500	\$1,500



Parcel #	Parcel #	Site Property Class	Lot size	Zoning	Assessed Value	Minimum Bid
659 Olive Street	6-07-206.000	Residential Vacant	50' x 98'	Residential C	\$4,300	\$2,500



<u>Parcel #</u>	<u>Parcel #</u>	<u>Site Property Class</u>	<u>Lot size</u>	<u>Zoning</u>	<u>Assessed Value</u>	<u>Minimum Bid</u>
39 Wise Street	4-19-207.000	Industrial Vacant	50' x 100'	Heavy Industry	\$4,500	\$500



<u>Parcel #</u>	<u>Parcel #</u>	<u>Site Property Class</u>	<u>Lot size</u>	<u>Zoning</u>	<u>Assessed Value</u>	<u>Minimum Bid</u>
40 Wise Street	4-19-206.000	Industrial Vacant	50' x 100'	Heavy Industry	\$1,350	\$100



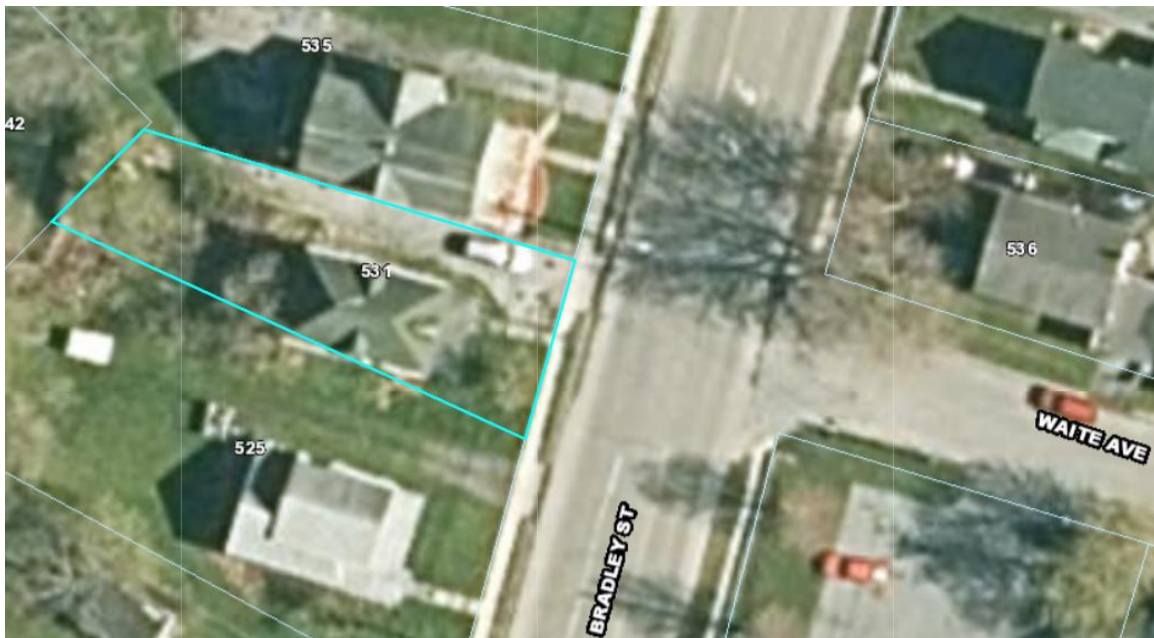
<u>Parcel #</u>	<u>Parcel #</u>	<u>Site Property Class</u>	<u>Lot size</u>	<u>Zoning</u>	<u>Assessed Value</u>	<u>Minimum Bid</u>
VL-4 Rear Wyoming Avenue	5-11-304.001	Residential Vacant	18' x 50'	Residential C	\$2,000	\$100



<u>Parcel #</u>	<u>Parcel #</u>	<u>Site Property Class</u>	<u>Lot size</u>	<u>Zoning</u>	<u>Assessed Value</u>	<u>Minimum Bid</u>
VL-6 Rear Wyoming Avenue	5-11-308.001	Residential Vacant	18' x 50'	Residential C	\$1,200	\$100



<u>Parcel #</u>	<u>Parcel #</u>	<u>Site Property Class</u>	<u>Lot size</u>	<u>Zoning</u>	<u>Assessed Value</u>	<u>Minimum Bid</u>
531 Bradley Street	1-15-204.000	Single Family	46' x 130'	Residential B	\$31,200	\$3,120

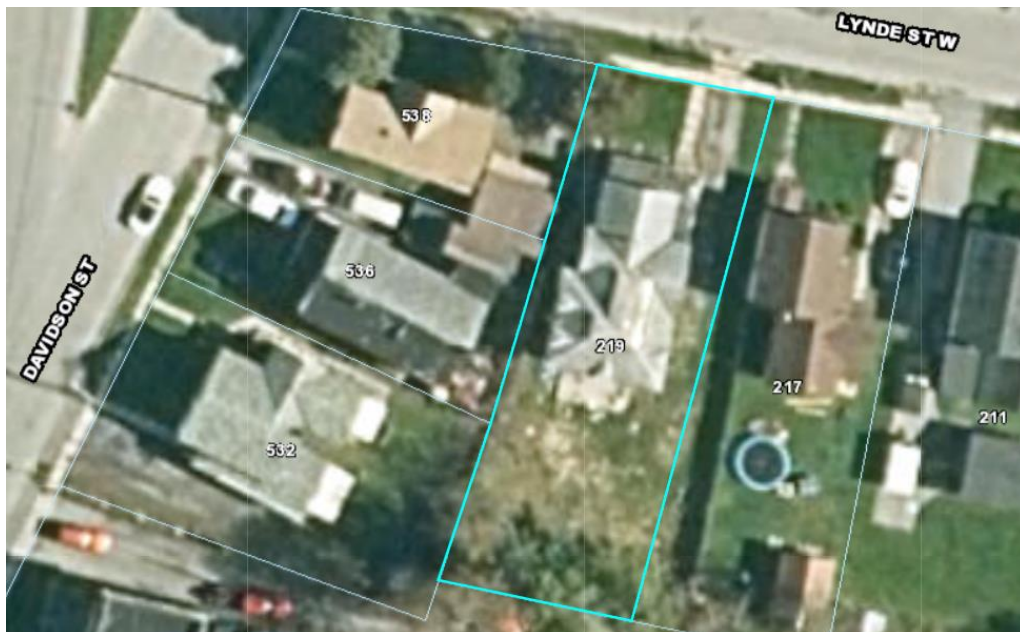


Parcel #	Parcel #	Site Property Class	Lot size	Zoning	Assessed Value	Minimum Bid
703 Franklin Street	12-07-321.000	Two Family	62' x 54'	Residential B	\$110,200	\$10,000





<u>Parcel #</u>	<u>Parcel #</u>	<u>Site Property Class</u>	<u>Lot size</u>	<u>Zoning</u>	<u>Assessed Value</u>	<u>Minimum Bid</u>
219 West Lynde Street	2-02-216.000	Two Family	48' x 144'	Residential B	\$45,700	\$4,570



Parcel #	Parcel #	Site Property Class	Lot size	Zoning	Assessed Value	Minimum Bid
427 Mullin Street	10-10-147.000	Single Family	74' x 78'	Residential C	\$88,880	\$10,000



<u>Parcel #</u>	<u>Parcel #</u>	<u>Site Property Class</u>	<u>Lot size</u>	<u>Zoning</u>	<u>Assessed Value</u>	<u>Minimum Bid</u>
135 Rutland Street North	6-08-167.000	Apartment	66' x 165'	Residential C	\$89,100	\$10,000



Res Nos. 11 & 12

March 2, 2022

To: The Honorable Mayor and City Council

From: Kenneth A. Mix, City Manager

Subject: Approving License Agreements with Convalt Energy, Inc. for Sewall's Island

The City Council tabled the resolution approving the proposed License Agreement with Convalt Energy, Inc. on February 22, 2022. Staff has since met with them to discuss changes to the agreement. It was decided to draft two agreements instead of one to address what we believe are the Council's concerns.

The first agreement gives Convalt the exclusive right to conduct studies of the hydro-electric plant on Tax Parcel No. 4-12-201.100 for two (2) years. There is an automatic renewal for two (2) years if Convalt has obtained a preliminary FERC license.

The second agreement gives Convalt a non-exclusive right to conduct studies for commercial, retail, and public purposes on Tax Parcel No. 4-12-103.100 for two (2) years.

Two resolutions have been prepared approving the License Agreements for City Council consideration. If the Council approves these resolutions, you should withdraw your introductions on the tabled resolution.

**RESOLUTION**

Page 1 of 1

Approving License Agreement with  
Convalt Energy, Inc. for Sewall's  
Island, P.N. 4-12-201.100

Council Member HICKEY, Patrick J.

Council Member OLNEY III, Clifford G.

Council Member PIERCE, Sarah V.C.

Council Member RUGGIERO, Lisa A.

Mayor SMITH, Jeffrey M.

Total .....

YEA	NAY

***Introduced by***

WHEREAS the City of Watertown owns a portion of Sewall's Island that contains an unused hydro-electric site, and

WHEREAS Convalt Energy, Inc. is interested in acquiring approval to investigate the potential for the renovation of the hydro-electric facility, and

WHEREAS a License Agreement has been developed that gives Convalt the exclusive right to conduct studies of the hydro-electric plant on Tax Parcel Number 4-12-201.100,

NOW THEREFORE BE IT RESOLVED that the City Council of the City of Watertown hereby approves the License Agreement with Convalt Energy, Inc., a copy of which is attached and made part of this resolution, and

BE IT FURTHER RESOLVED that Mayor Jeffrey M. Smith is hereby authorized and directed to execute the License Agreement on behalf of the City of Watertown.

***Seconded by***

## **LICENSE AGREEMENT**

This Agreement is being made and is intended to be effective as of March 14, 2022 for a period of two (2) years, between the City of Watertown, New York, with principal offices located at 245 Washington Street, Watertown, New York 13601 (the “City”) and Convalt Energy, Inc., a Delaware Business Corporation doing business in the State of New York, with principal offices located at 800 Starbuck Avenue, A-15, Watertown, New York 13601 (“Convalt Energy”).

### **RECITALS**

WHEREAS, the City is a municipal corporation organized under the laws of the State of New York and owns a parcel of land on or near Sewall’s Island in the City of Watertown as conveyed to the City by BC Holding Group, Inc. by deed dated April 27, 2007 and recorded in the Jefferson County Clerk’s Office on July 6, 2007 at File Number 2007-00011681; and

WHEREAS, the parcel, identified as Tax Parcel No. 4-12-201.100, consists of a former hydro-electric plant, a portion of the riverbed of the Black River, and a parcel formerly occupied by what was commonly referred to as the “Triangle Building” (as shown on the map identified as Exhibit “A”); and

WHEREAS, Convalt Energy has expressed an interest in developing the subject property for the renovation of the hydro-electric facility; and

WHEREAS, Convalt Energy cannot adequately conduct an investigation into the viability of the former hydro-electric facility without an opportunity to conduct site investigations and studies; and

WHEREAS, Convalt Energy desires the opportunity to enjoy a license for its exclusive investigation and study of the facility upon the terms and conditions set forth in this Agreement; and

WHEREAS, the City desires to grant such a license upon the terms and conditions contained in this Agreement, the parties agree as follows:

### **Agreement**

#### **Section 1. – Term of License.**

The term of this license shall be for a period of two (2) years from March 14, 2022 through February 28, 2024, with an automatic renewal at Convalt Energy's election, upon the same terms contained in this Agreement, for an additional two (2) years if Convalt Energy has, by the end of this Agreement's initial term, obtained a preliminary FERC license for the rehabilitation and operation of the former hydro-electric facility on the property.

#### **Section 2. – Grant of License.**

The City grants Convalt Energy an exclusive license on the property to conduct studies of the hydro-electric plant and its environs for its independent investigation as to whether redevelopment of the hydro-electric plant is financially viable.

#### **Section 3. – Non-Assignability.**

The City and Convalt Energy agree that it is the purpose of this license to permit the exclusive use of the licensed area by Convalt Energy, and that this license may not be assigned by Convalt Energy to any person or entity without the City's prior express written consent. Convalt Energy agrees that the City's consent to any assignment may be withheld for any reason, and in its sole discretion.

#### Section 4. – Compensation.

The fees for the license shall be \$100.00 per month. Payment of the monthly fee shall be in advance, with the first payment due a month in advance of the commencement of the use of the licensed areas.

#### Section 5. – Convalt Energy's Duties.

a. Convalt Energy shall be responsible for delineating the licensed property by means of the existing fence, portable fencing or marking, and may mark the property as not accessible to the public. Such delineations shall be approved as to location and type by the City Engineer.

b. Convalt Energy shall indemnify and hold the City harmless, including reimbursement for reasonable attorneys' fees, from and against any and all loss, claims, costs or expenses arising out of any claim of liability for injuries or damages to persons or to property sustained by any person or entity by reason of Convalt Energy's operations, use, or occupation of the property, or by or resulting from any act or omission of Convalt Energy, or any of its officers, agents, employees, guests, patrons or invitees.

c. Prior to occupying the property, Convalt Energy shall provide the City with an insurance certificate clearly reflecting that the City is named as an additional insured on Convalt Energy's policy of commercial general liability insurance containing minimum coverages of \$500,000.00 per person and \$1,000,000.00 per occurrence, with property damage coverage in the sum of \$100,000.00. The property damage coverage shall name the City as loss payee.

d. A Certificate of insurance must further be delivered to the City as a certificate holder indicating that the City is entitled to notice of any cancellation of the insurance contract.

e. Convalt Energy shall not impede the City's ability to maintain the property, including maintenance of driveways, paths, vegetation, etc.

Section 6. – No Alterations.

No alterations may be made by Convalt Energy to the property without the prior written consent of the City Engineer, which consent may be withheld for any reason and at the sole discretion of the City.

Section 7. - Termination.

This license may be terminated by the City, for cause, upon Convalt Energy's failure to comply with any of the provisions of this Agreement.

Section 8. - Venue and Applicable Law.

The City and Convalt Energy agree that the venue of any legal action arising from a claimed breach of this Agreement is in Supreme Court, in and for the County of Jefferson, State of New York. This Agreement shall be construed in accordance with the Laws of the State of New York.

Section 9. - Merger and Savings Clause.

This Agreement sets forth the Agreement between the parties and each party acknowledges that there are no promises, agreements, conditions, or understandings, either oral or written, express or implied, which are not set forth herein. The invalidity of any severable covenant, condition or provision of this Agreement shall not serve to invalidate any other covenant, condition or provision of this Agreement. It being the intent of the parties to preserve so much of the terms of the Agreement as possible.

Section 10. - Notice and Approval.

All notices required to be given under this license shall be in writing and shall be deemed to have been duly given on the date mailed and sent by certified mail, return receipt requested to the City of Watertown: City Manager, 245 Washington Street, Watertown, New

York 13601, and Convalt Energy, Inc., 800 Starbuck Avenue, A-15, Watertown, New York 13601.

In witness whereof, the City and Convalt Energy have caused this License to be executed by the parties and is to be effective as of \_\_\_\_\_, 2022.

CITY OF WATERTOWN, NEW YORK

By: \_\_\_\_\_  
Jeffrey M. Smith, Mayor

CONVALT ENERGY, INC.

By: \_\_\_\_\_  
Hari Achuthan, President and CEO

# Exhibit A



CITY OF WATERTOWN, NEW YORK  
GIS DEPARTMENT

ROOM 305B, MUNICIPAL BUILDING  
245 WASHINGTON STREET  
WATERTOWN, NEW YORK 13601

TEL: (315) 785-7793  
EMAIL: gis@watertown-ny.gov

Drawn By:

Date: 3/2/2022

Approved By:

Date:

Scale: 1 inch = 140 feet

Map Number:

Revision:

Description of Revision:

Date:

By:



Project:

Sewall's Island (West)

Title:

Exhibit A

**RESOLUTION**

Page 1 of 1

Approving License Agreement with  
Convallt Energy, Inc. for Sewall's  
Island, P.N. 4-12-103.100

Council Member HICKEY, Patrick J.

Council Member OLNEY III, Clifford G.

Council Member PIERCE, Sarah V.C.

Council Member RUGGIERO, Lisa A.

Mayor SMITH, Jeffrey M.

Total .....

YEA	NAY

***Introduced by***

WHEREAS the City of Watertown owns a portion of Sewall's Island that formerly contained a foundry, and

WHEREAS Convallt Energy, Inc. is interested in acquiring approval to investigate the potential for redevelopment, and

WHEREAS a License Agreement has been developed that gives Convallt the non-exclusive right to conduct studies of Tax Parcel Number 4-12-103.100 for commercial, retail and public purposes,

NOW THEREFORE BE IT RESOLVED that the City Council of the City of Watertown hereby approves the License Agreement with Convallt Energy, Inc., a copy of which is attached and made part of this resolution, and

BE IT FURTHER RESOLVED that Mayor Jeffrey M. Smith is hereby authorized and directed to execute the License Agreement on behalf of the City of Watertown.

***Seconded by***

## **LICENSE AGREEMENT**

This Agreement is being made and is intended to be effective as of March 14, 2022 for a period of two (2) years between the City of Watertown, New York, with principal offices located at 245 Washington Street, Watertown, New York 13601 (the “City”) and Convalt Energy, Inc., a Delaware Business Corporation doing business in the State of New York, with principal offices located at 800 Starbuck Avenue, A-15, Watertown, New York 13601 (“Convalt Energy”).

### **RECITALS**

WHEREAS, the City is a municipal corporation organized under the laws of the State of New York and owns parcels of land on or near Sewall’s Island in the City of Watertown as conveyed to the City by BC Holding Group, Inc. by deed dated April 27, 2007 and recorded in the Jefferson County Clerk’s Office on July 6, 2007 at File Number 2007-00011681; and

WHEREAS, one of the parcel(s), identified as Tax Parcel No. 4-12-103.100, is a parcel formerly occupied by a foundry, and is shown on the map attached as Exhibit “A”; and

WHEREAS, Convalt Energy has expressed an interest in developing that tax parcel for the creation of a commercial area tying into the City’s “Sewall’s Island and Factory Square Revitalization and Redevelopment Design Plan” and

WHEREAS, Convalt Energy cannot adequately conduct an investigation into the viability of the development of commercial/retail/public uses on the parcel without an opportunity to conduct site investigations (e.g., surveys, structural analyses, etc.) and studies; and

WHEREAS, Convalt Energy desires the opportunity to enjoy a non-exclusive license for its investigation and study upon the terms and conditions set forth in this Agreement; and

WHEREAS, the City desires to grant such a non-exclusive license upon the terms and conditions designed to further the development of riverfront properties in the City, the parties agree as follows:

### **Agreement**

#### **Section 1. – Term of License.**

The term of this license shall be for a period of two (2) years from March 14, 2022 through February 28, 2024.

#### **Section 2. – Grant of License.**

The City grants Convalt Energy a non-exclusive license on the property to conduct studies and investigate the parcel to determine if it is capable of reasonably supporting commercial, retail, and public purposes.

#### **Section 3. – Non-Assignability.**

The City and Convalt Energy agree that it is the purpose of this license to permit the non-exclusive use of the licensed area by Convalt Energy, and that this license may not be assigned by Convalt Energy to any person or entity without the City's prior express written consent. Convalt Energy agrees that the City's consent to any assignment may be withheld for any reason, and in its sole discretion.

#### **Section 4. – Compensation.**

The fee for the license shall be \$10.00 per month. Payment of the monthly fee shall be in advance, with the first payment due a month in advance of the commencement of the use of the licensed areas.

Section 5. – Convalt Energy’s Duties.

a. Convalt Energy shall indemnify and hold the City harmless, including reimbursement for reasonable attorneys’ fees, from and against any and all loss, claims, costs or expenses arising out of any claim of liability for injuries or damages to persons or to property sustained by any person or entity by reason of Convalt Energy’s operations, use, or occupation of the property, or by or resulting from any act or omission of Convalt Energy, or any of its officers, agents, employees, guests, patrons or invitees.

b. Prior to occupying the parcel, Convalt Energy shall provide the City with an insurance certificate clearly reflecting that the City is named as an additional insured on Convalt Energy’s policy of commercial general liability insurance containing minimum coverages of \$500,000.00 per person and \$1,000,000.00 per occurrence.

c. A Certificate of insurance must further be delivered to the City as a certificate holder indicating that the City is entitled to notice of any cancellation of the insurance contract.

d. Convalt Energy shall not impede the City’s ability to maintain the parcel, including maintenance of driveways, paths, vegetation, etc.

Section 6. – No Alterations.

No alterations may be made by Convalt Energy to the parcel without the prior written consent of the City Engineer, which consent may be withheld for any reason and at the sole discretion of the City.

Section 7. - Termination.

This license may be terminated by the City, for cause, upon Convalt Energy’s failure to comply with any of the provisions of this Agreement.

Section 8. - Venue and Applicable Law.

The City and Convalt Energy agree that the venue of any legal action arising from a claimed breach of this Agreement is in Supreme Court, in and for the County of Jefferson, State of New York. This Agreement shall be construed in accordance with the Laws of the State of New York.

Section 9. - Merger and Savings Clause.

This Agreement sets forth the Agreement between the parties and each party acknowledges that there are no promises, agreements, conditions, or understandings, either oral or written, express or implied, which are not set forth herein. The invalidity of any severable covenant, condition or provision of this Agreement shall not invalidate any other covenant, condition or provision of this Agreement. It being the intent of the parties to preserve so much of the terms of the Agreement as possible.

Section 10. - Notice and Approval.

All notices required to be given under this license shall be in writing and shall be deemed to have been duly given on the date mailed and sent by certified mail, return receipt requested to the City of Watertown: City Manager, 245 Washington Street, Watertown, New York 13601, and Convalt Energy, Inc., 800 Starbuck Avenue, A-15, Watertown, New York 13601.

In witness whereof, the City and Convalt Energy have caused this Non-Exclusive

License to be executed by the parties and is to be effective as of \_\_\_\_\_, 2022.

CITY OF WATERTOWN, NEW YORK

By: \_\_\_\_\_  
Jeffrey M. Smith, Mayor

CONVALT ENERGY, INC.

By: \_\_\_\_\_  
Hari Achuthan, President and CEO

# Exhibit A



CITY OF WATERTOWN, NEW YORK  
GIS DEPARTMENT

ROOM 305B, MUNICIPAL BUILDING  
245 WASHINGTON STREET  
WATERTOWN, NEW YORK 13601

TEL: (315) 785-7793  
EMAIL: [gis@watertown-ny.gov](mailto:gis@watertown-ny.gov)

Drawn By:

Date: 3/2/2022

Approved By:

Date:

Scale: 1 inch = 140 feet

Map Number:

Revision:

Description of Revision:

Date:

By:



Project:

Sewall's Island (East)

Title:

Exhibit A

Res No. 13

March 4, 2022

To: The Honorable Mayor and City Council

From: Ann M. Saunders, City Clerk

Subject: Commissioner of Deeds

The City Clerk's Office has received an additional application from Assemblyman Mark C. Walczyk's office for the appointment of Commissioner of Deeds. Attached for City Council consideration is a resolution appointing this individual as Commissioner of Deeds for the City of Watertown for the remaining two-year term ending December 31, 2022.

# RESOLUTION

Page 1 of 1

Appointment of Commissioner of Deeds

Council Member HICKEY, Patrick J.

Council Member OLNEY III, Clifford G.

Council Member PIERCE, Sarah V.C.

Council Member RUGGIERO, Lisa A.

Mayor SMITH, Jeffrey M.

Total .....

YEA	NAY

## *Introduced by*

WHEREAS Commissioner of Deeds in the cities of this state shall be appointed by the common councils of such cities, and

WHEREAS Commissioner of Deeds shall hold the term of two years, and

WHEREAS any person who resides in or maintains an office or other place of business in any such city and who resides in the county in which said city is situated shall be eligible to appointment,

NOW THEREFORE BE IT RESOLVED that the following individuals are hereby appointed Commissioner of Deeds for the term expiring December 31, 2022.

### **Non-City Employee**

Olivia G. Patterson

## *Seconded by*

Ord No. 1

March 1, 2022

To: The Honorable Mayor and City Council

From: Michael A. Lumbis, Planning and Community Development Director

Subject: Changing the Approved Zoning Classification of 108 Flower Avenue East, Parcel Number 11-12-127.000 from Residence B to Neighborhood Business

Charles Marshall of Stewart's Shops Corporation has submitted an application to change the approved Zoning Classification of 108 Flower Avenue East, Parcel Number 11-12-127.000, from Residence B to Neighborhood Business.

The applicant seeks to rezone the property to facilitate the development of a Stewart's Shops gas station and convenience store at 703, 707 and 715 Washington Street. The properties fronting on Washington Street are already zoned Neighborhood Business. A proposed entrance drive and part of the parking lot would occupy the land that is presently 108 Flower Avenue East.

The Planning Board reviewed the request at its October 5, 2021 meeting and voted 5-1 to adopt a motion recommending that City Council approve the zone change request as submitted. Attached are the complete zone change application, as well as Staff's original report to the Planning Board and the relevant excerpt from the Planning Board's meeting minutes. The applicant gave a PowerPoint presentation at the October 5, 2021 Planning Board meeting, a copy of which is also attached.

Since October, the applicant has also conducted traffic and real estate analyses, both of which the applicant team presented at a public meeting on the evening of February 15, 2022. The applicant subsequently submitted written reports on both of those analyses, as well as a written summary of their request, a truck routing plan, and a petition of support, signed by individuals that visited their current location at the corner of Washington and Elm Streets. Attached are physical copies of all of the above.

Also attached is a letter to the Planning Board, written by Maryellen Blevins, who owns the property at 719 Washington Street, and an email from Marcia Kettrick, who resides at 214 Flower Avenue West, both stating their opposition to the project.

The ordinance attached for City Council consideration changes the approved zoning classification of both parcels. The City Council must hold a public hearing on the ordinance before it may vote. Staff recommends that City Council schedule a public hearing for 7:15 p.m. on Monday, March 21, 2022. A SEQRA resolution will be presented for City Council consideration at that meeting.

**ORDINANCE**

Page 1 of 1

Changing the Approved Zoning Classification of  
108 Flower Avenue East, Parcel Number 11-12-  
127.000 from Residence B to Neighborhood Business

***Introduced by***

Council Member HICKEY, Patrick J.

Council Member OLNEY III, Clifford G.

Council Member PIERCE, Sarah V.C.

Council Member RUGGIERO, Lisa A.

Mayor SMITH, Jeffrey M.

Total .....

YEA	NAY

BE IT ORDAINED where Stewart's Shops Corporation has made an application by petition filed with the City Clerk, pursuant to Section 83 of the New York General City Law to change the approved zoning classification of 108 Flower Avenue East, Parcel Number 11-12-127.000, from Residence B to Neighborhood Business, and

WHEREAS the Planning Board of the City of Watertown considered the zone change request at its October 5, 2021 meeting and adopted a motion recommending that City Council approve the zone change, and

WHEREAS a public hearing was held on the proposed zone change on March 21, 2022, after due public notice, and

WHEREAS the City Council has made a declaration of Negative Findings of the impacts of the proposed zone change according to the requirements of SEQRA, and

WHEREAS the City Council deems it in the best interest of the citizens of the City of Watertown to approve the requested zone change,

NOW THEREFORE BE IT ORDAINED that the approved zoning classification of 108 Flower Avenue East, Parcel Number 11-12-127.000 shall be changed from Residence B to Neighborhood Business, and

BE IT FURTHER ORDAINED that the Zoning Map of the City of Watertown shall be amended to reflect the zone change, and

BE IT FURTHER ORDAINED this amendment to the Zoning Ordinance of the City of Watertown shall take effect as soon as it is published once in the official newspaper of the City of Watertown, or otherwise printed as the City Manager directs.

***Seconded by***



September 16, 2021

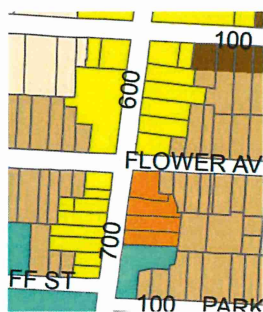
Honorable Jeffrey M. Smith, Mayor  
City of Watertown  
245 Washington St.  
Watertown, New York 13601

Mayor Smith and Members of the Watertown City Council,

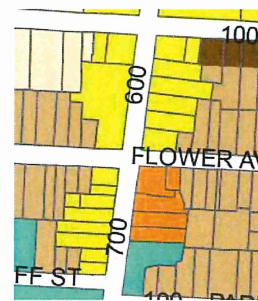
Stewart's Shops currently operates a convenience store and gasoline filling at 1226 Washington Street at the intersection of Washington Street and Elm Street. This store has been operational since 1995 and has reached its physical and functional obsolescence, requiring complete replacement. In looking for alternative locations, Stewart's identified the corner of Washington Street and East Flower Avenue where Neighborhood Business (NB) zoning is on four of the parcels which allows gasoline sales pursuant to §310-8(I) by Site Plan approval and Special Use Permit issued by the City Council.

Stewart's was able to place three of the four NB parcels under contract along with 108 East Flower Avenue (SBL: 11-12-127.000). In discussing preliminary plans with the City's Planning Department it was determined a zone change from the City Council was required to incorporate 108 East Flower Avenue East to the Site Plan.

108 East Flower Avenue is uniquely situated as a Residence B parcel as other zoning districts extend further east and west off Washington Street as can be seen in the current City Zoning Map (Image 1A below). Also pasted below is a revised zoning map (Image 1B) illustrative if the request proceeds to show the scale of the request. Additionally, 108 East Flower Avenue is a legal, non-conforming parcel pursuant to §310-13 with deficiencies for lot width lacking 60 feet and overall area less than 6,000 square feet; the requested zone change represents 11% of the total project area for the proposed Stewart's.



**Image 1A: Excerpt of Existing Zoning Map**



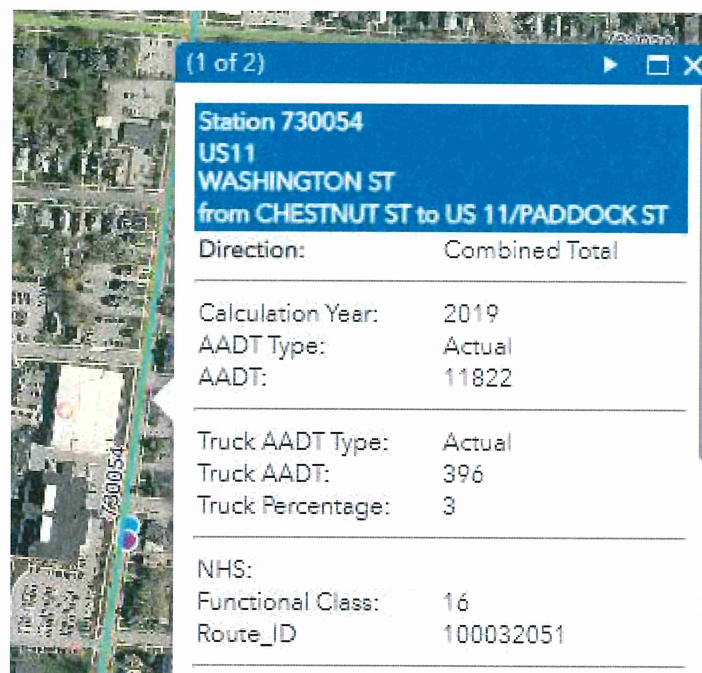
**Image 1B: Excerpt of Proposed Zoning Map**

Inclusion of the subject parcel into the proposed Site Plan will enable to the installation of a true fifteen-foot landscaped buffer between the commercial activity and the abutting property. The adjacent property is currently held by the seller of the subject property and because of that a letter of support was not provided. Upon submission of the application material, the neighbors on the western side of Washington Street and northern side of Flower Avenue East will all be contacted to discuss the project and Stewart's potential to mitigate any immediate concerns or requests. This will be done acknowledging the use permitted in the majority of the site except 108 Flower Avenue East.

Subsequent to the adoption of the 2015 Comprehensive Plan, the current owner razed all of their properties with NB zoning; this alters the “City of Watertown Existing Land Use” provided in Map A of the Comprehensive Plan Appendices page 57. This site is not specifically referenced in the Comprehensive Plan, however, considerable time is spent discussing the redevelopment of other underutilized sites within the City. The redevelopment of underutilized property should be important as it contributes to the tax base with minimal additional clearing or virgin land disturbance.

In review of other Comprehensive Plan material, there’s discussion about the area being “zoned” Corridor Mixed Use (CMU) and in our conversation with staff, the proposed use permitted within the zone. Elements of the CMU that are also achievable by the construction of a new Stewart’s Shop is the inclusion of pedestrian accommodations, sidewalk connections to the store from Washington Street as well as Flower Avenue East. These amenities will allow walk-up business from both the immediately adjacent neighborhood and the Samaritan Medical Center.

While Stewart’s proposes a gasoline component to its development, there is not a considerable traffic impact as the Institute for Transportation Engineers (ITE) assigns a 63% “pass-by” assignment to a convenience store and gasoline filling. According to the 2019 traffic counts conducted by the New York State Department of Transportation (NYSDOT), the average daily traffic is 11,822 and can be seen in Image 2, below.



**Image 2: New York State DOT – Average Daily Traffic**

Ultimately, Stewart’s wishes to establish a legacy location in the City of Watertown and this project will enable that. Most of the site is appropriately zoned for a convenience store and gasoline filling and the requested zone change affects a moderate portion of the site which enables improvements to the site that cannot otherwise be achieved.

Stewart’s looks forward to the opportunity to present this information to the City Council at its next available meeting. If there are any questions in the meantime, please reach me at (518) 269-0664.

Regards,

*Chuck*

Charles Marshall  
Stewart’s Shops Corp.



City of Watertown  
**ZONE CHANGE APPLICATION FORM**

City of Watertown, Planning and Community Development Dept.  
245 Washington Street, Room 305, Watertown, NY 13601  
Phone: 315-785-7741 Email: [planning@watertown-ny.gov](mailto:planning@watertown-ny.gov)

Received PLANNING AND COMMUNITY  
DEVELOPMENT DEPARTMENT

SEP 21 2021

RECEIVED  
CITY OF WATERTOWN, NY

**PROPERTY INFORMATION:**

PROPERTY ADDRESS: 108 Flower Ave East

TAX PARCEL NUMBER(S): 11-12-127.000

CURRENT ZONING DISTRICT: Residence B PROPOSED ZONING DISTRICT: Neighborhood Business

**APPLICANT INFORMATION:**

APPLICANT NAME: Stewart's Shops Corp.

APPLICANT MAILING ADDRESS: P.O. Box 435, Saratoga Springs, New York 12866

PHONE NUMBER: (518) 581-1201 ext 4435 E-MAIL: [cmarshall@stewartsshops.com](mailto:cmarshall@stewartsshops.com)

**PROPERTY OWNER INFORMATION (if different from applicant):**

PROPERTY OWNER NAME: Hedy Cirrincione

PROPERTY OWNER MAILING ADDRESS (if different from subject parcel): 99 27th St, Cocoa Beach, FL 32931

Property owner wishes to be contacted through listing Real Estate broker Neville Gruenberg

PHONE NUMBER: (315) 445-8510 E-MAIL: [ngruenberg@pyramidbrokerage.com](mailto:ngruenberg@pyramidbrokerage.com)

**CHECKLIST (please include all of the following in addition to this application form):**

- |   |  |
|---|--|
| <input checked="" type="checkbox"/> Cover Letter*                 | <input checked="" type="checkbox"/> Tax Map with subject parcel highlighted*             |
| <input checked="" type="checkbox"/> Site Drawing (if applicable)* | <input checked="" type="checkbox"/> State Environmental Quality Review (SEQR) form*      |
| <input checked="" type="checkbox"/> Metes and Bounds description  | <input type="checkbox"/> Written Support of Adjoining Property Owners (if applicable)    |
| <input checked="" type="checkbox"/> \$125 application fee*        | <input checked="" type="checkbox"/> Electronic Copy of Entire Submission (PDF Preferred) |

\*See appendices for further information

Applicant Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Property Owner Signature (if different) \_\_\_\_\_ Date: \_\_\_\_\_

7/31/2020

**TAX MAP FOR REZONE APPLICATION OF**

**108 EAST FLOWER AVE**

**SBL: 11-12-127.000**



Prepared by  
City of Watertown GIS  
For  
City of Watertown  
Assessment Department

For Tax Purposes Only  
Not to be Used for Conveyance

2020-01-01 DATE FILED  
CENTRAL ZONE, 101 FEET

Parcel ID	Assessment ID
101-101	101-101
101-102	101-102
101-103	101-103
101-104	101-104
101-105	101-105
101-106	101-106
101-107	101-107
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101-199	101-199
101-200	101-200

Property Line  
Historic Property Line  
Building Outline  
Railroad  
City Boundary  
School District Boundary

Coordinate Grid  
123 Parcel ID  
124-000 Assessment ID  
(indicates adjacent parcels)  
125 Parcel ID  
126-000 Assessment ID  
(indicates adjacent parcels)

1 Inch = 50 Feet \*  
0 50 100 200 Feet  
\*when printed on 11" x 17" paper



Tax Map  
**City of Watertown**  
Jefferson County, NY

Section 11 Block 12

Printed Date: 2/4/2019



## Ausfeld & Waldruff Land Surveyors LLP

323 Clinton Street, Schenectady, New York 12305

Phone: (518) 346-1595 Fax: (518) 770-1655

www.awslsp.com

### LEGAL DESCRIPTION

#### *108 East Flower Avenue*

All That Tract or parcel of Land situate in the City of Watertown, County of Jefferson further described as follows:

Commencing at a point located at the intersection formed by the south line of East Flower Avenue with the easterly line of Washington Street; thence from said point of commencement and along the aforesaid south line of East Flower Avenue, South  $87^{\circ}12'09''$  East, 97.88 feet to the point of beginning; thence from said point of beginning and along said East Flower Avenue, South  $87^{\circ}12'09''$  East, 50.00 feet to a point; thence along the lands of Hedy Schwadner (Instrument 2009-19129), South  $02^{\circ}47'51''$  West, 82.05 feet to a point; thence along other lands of Hedy Schwadner (Instrument 2006-2914), the following two courses: 1) North  $87^{\circ}12'09''$  West, 50.00 feet to a point and 2) North  $02^{\circ}47'51''$  East, 82.05 feet to the point or place of beginning

CONTAINING 0.094 acres of land more or less.

SUBJECT to all rights or restrictions of record.

It being the intent to describe the parcel of land at 108 Flower Avenue East, Watertown, New York.

September 20, 2021

Vincent P. Ausfeld P.L.S

# Short Environmental Assessment Form

## Part 1 - Project Information

### Instructions for Completing

**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

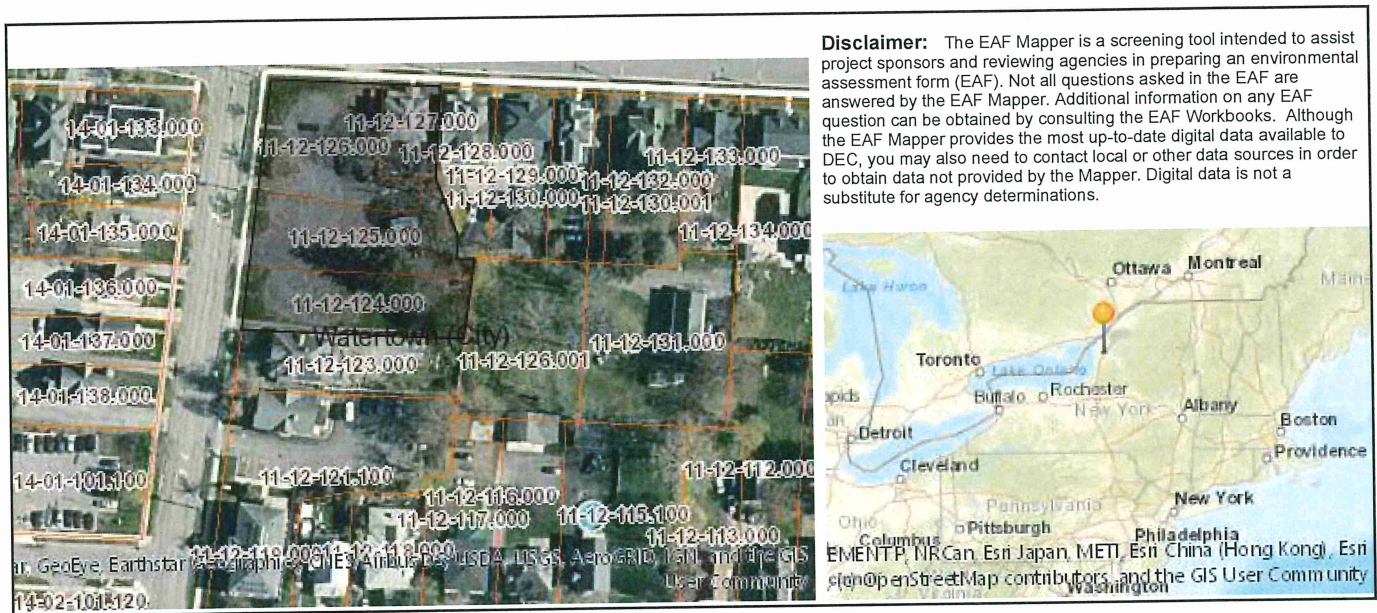
<b>Part 1 – Project and Sponsor Information</b>			
Stewart's Shops Corp.			
Name of Action or Project:			
Stewart's Shops Relocation - Washington St			
Project Location (describe, and attach a location map):			
703-715 Washington St AND 108 E. Flower			
Brief Description of Proposed Action:			
<p>Upon successfully rezoning 108 East Flowe Avenue, Stewart's proposes the demolition of 108 E. Flower for the construction of a new Stewart's Shops convenience store with self-serve gasoline filling. The propose store would be 3,975 square feet and the gasoline canopy will have three gasoline pumps for six fueling positions. This action is permitted under the Neighborhood Business zoning with a special use permit issued by the City Council.</p>			
Name of Applicant or Sponsor:		Telephone: (518) 581-1201 ext 4435	
Stewart's Shops Corp. (Charles Marshall contact)		E-Mail: cmarshall@stewartssshops.com	
Address:			
P.O. Box 435			
City/PO:		State:	Zip Code:
Saratoga Springs		NY	12866
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?			NO
If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			YES
			<input checked="" type="checkbox"/>
			<input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency?			NO
If Yes, list agency(s) name and permit or approval:			YES
			<input checked="" type="checkbox"/>
			<input type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		0.86 acres	
b. Total acreage to be physically disturbed?		0.86 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		0.86 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input checked="" type="checkbox"/> Other(Specify): Institutional (hospital)			
<input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
b. Are public transportation services available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies:			
Meets but does not exceed.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____			
_____			
_____			

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered? Northern Long-eared Bat	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, <div style="margin-left: 40px;">           a. Will storm water discharges flow to adjacent properties?             b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?            If Yes, briefly describe: _____            _____            _____         </div>	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>  Applicant/sponsor/name: <u>Charles Marshall - Stuart's Shops</u> Date: <u>9/17/21</u> Signature: <u>Chen gMall</u> Title: <u>Real Estate Rep</u>		

# EAF Mapper Summary Report

Sunday, September 12, 2021 7:24 PM



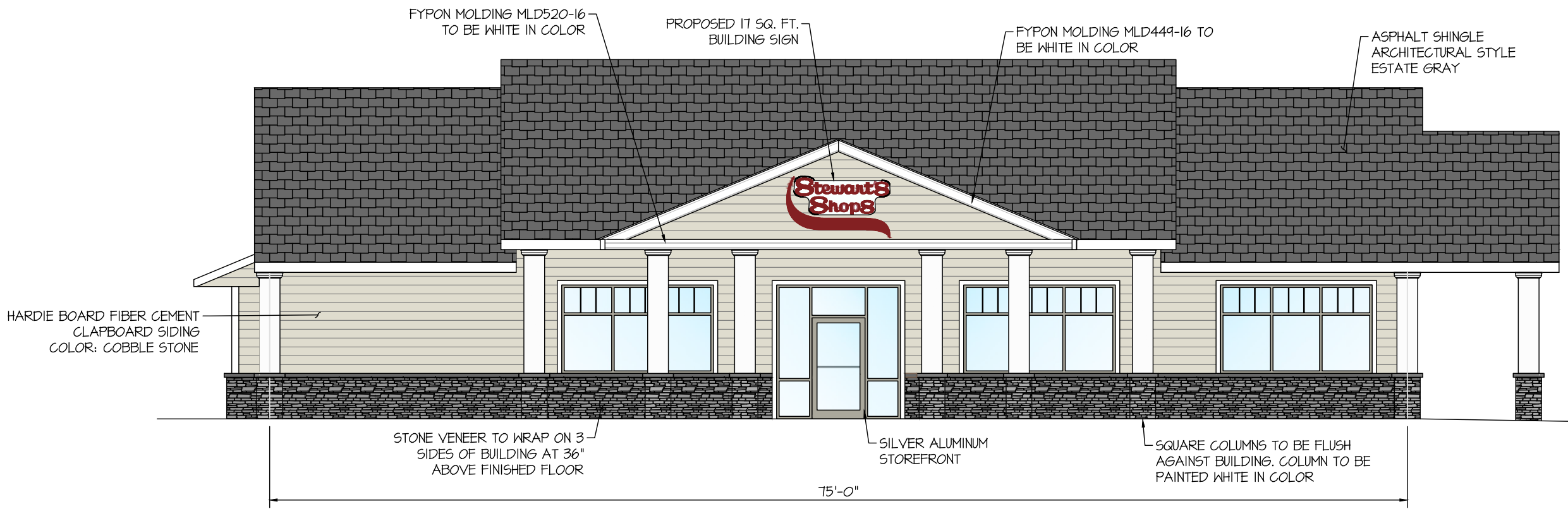
Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	No
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	No
Part 1 / Question 15 [Threatened or Endangered Animal]	Yes
Part 1 / Question 15 [Threatened or Endangered Animal - Name]	Northern Long-eared Bat
Part 1 / Question 16 [100 Year Flood Plain]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
Part 1 / Question 20 [Remediation Site]	No

PROPOSED STEWART'S SHOP

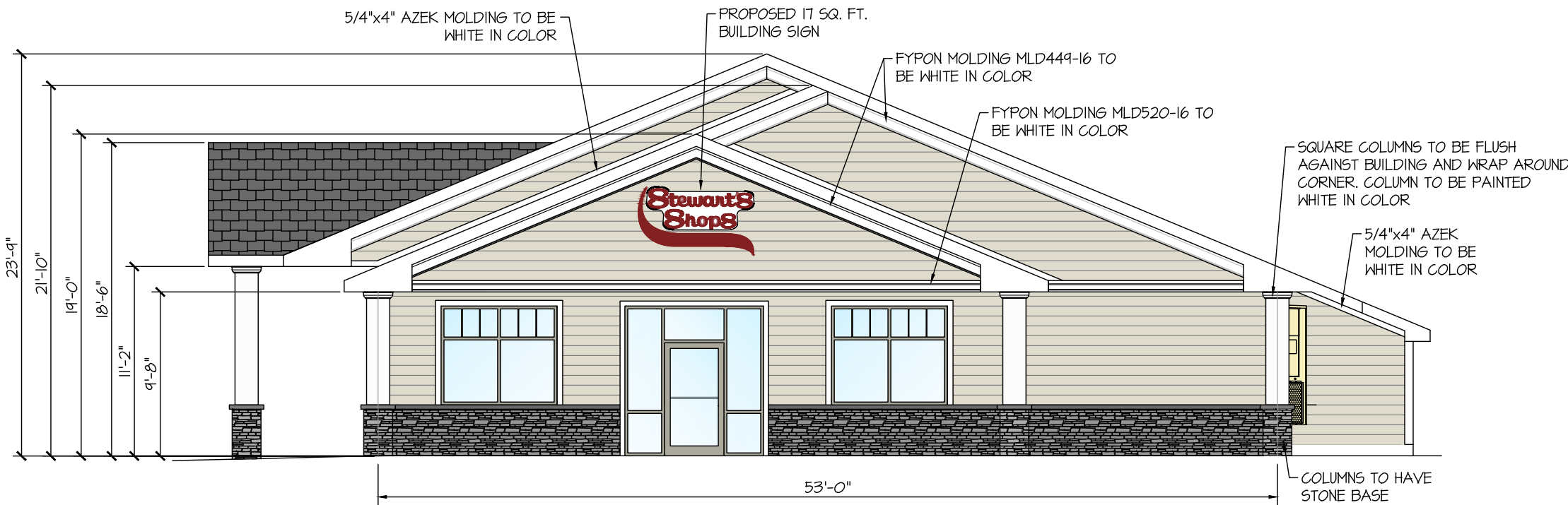
WASHINGTON STREET & EAST FLOWER AVENUE

WATERTOWN, NY 13601

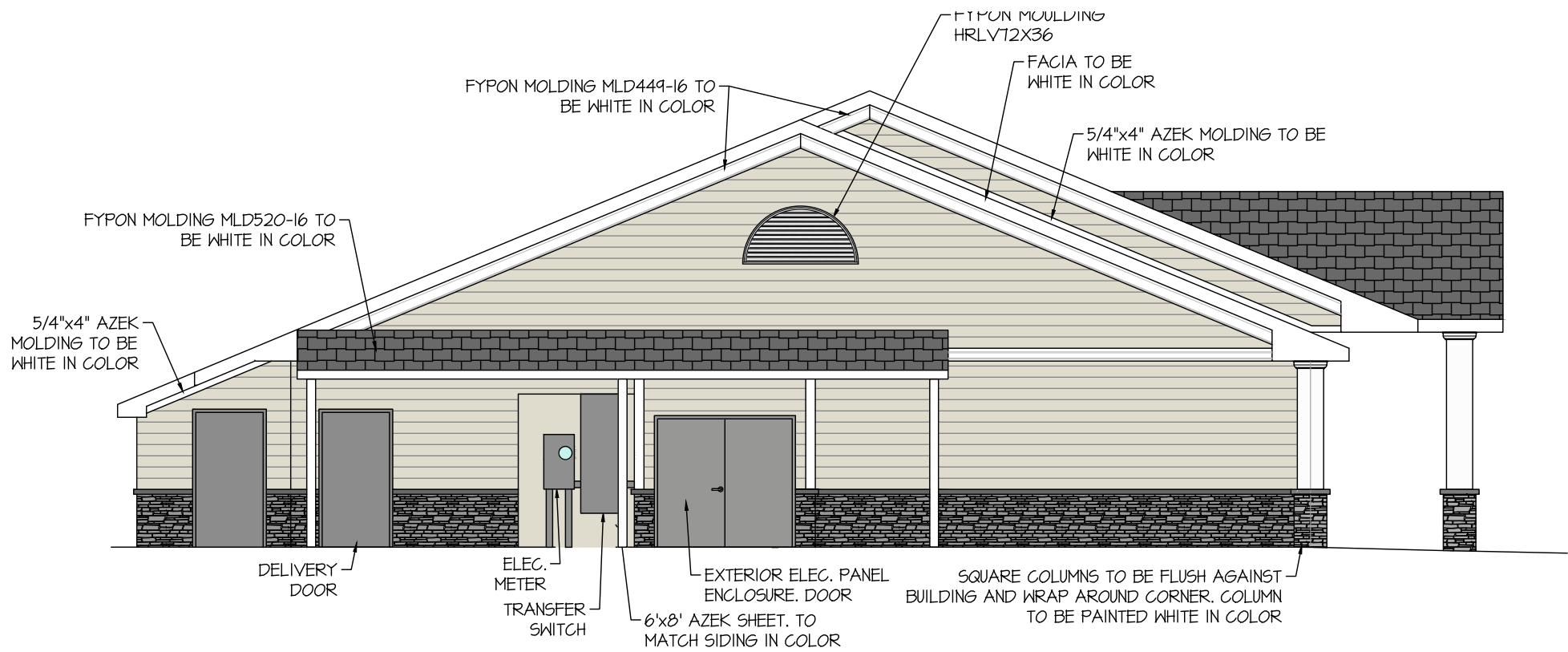
SHEET NO.	DRAWING NAME	DESCRIPTION
1	T-1	TITLE SHEET
2	S-1	EXISTING SITE/DEMO PLAN
3	S-2	PROPOSED SITE PLAN
4	S-3	UTILITY PLAN
5	S-4	GRADING PLAN
6	S-5	LANDSCAPING PLAN
7	S-6	LIGHTING PLAN
8	S-7	STORMWATER DETAILS
9	S-8	EROSION & SEDIMENT CONTROL PLAN
10	S-9	TRUCK CIRCULATION PLAN
11	S-11	MISCELLANEOUS DETAILS
12	S-12	MISCELLANEOUS DETAILS
13	S-13	MISCELLANEOUS DETAILS
14	S-14	MISCELLANEOUS DETAILS



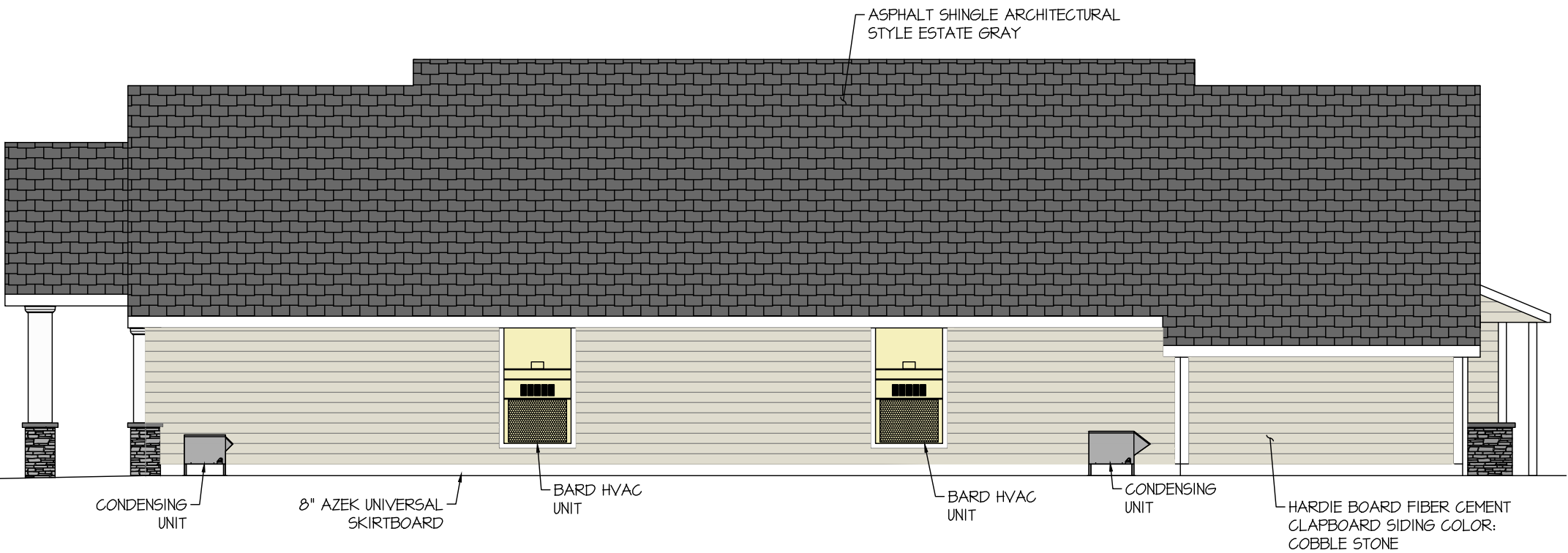
NORTH BUILDING ELEVATION



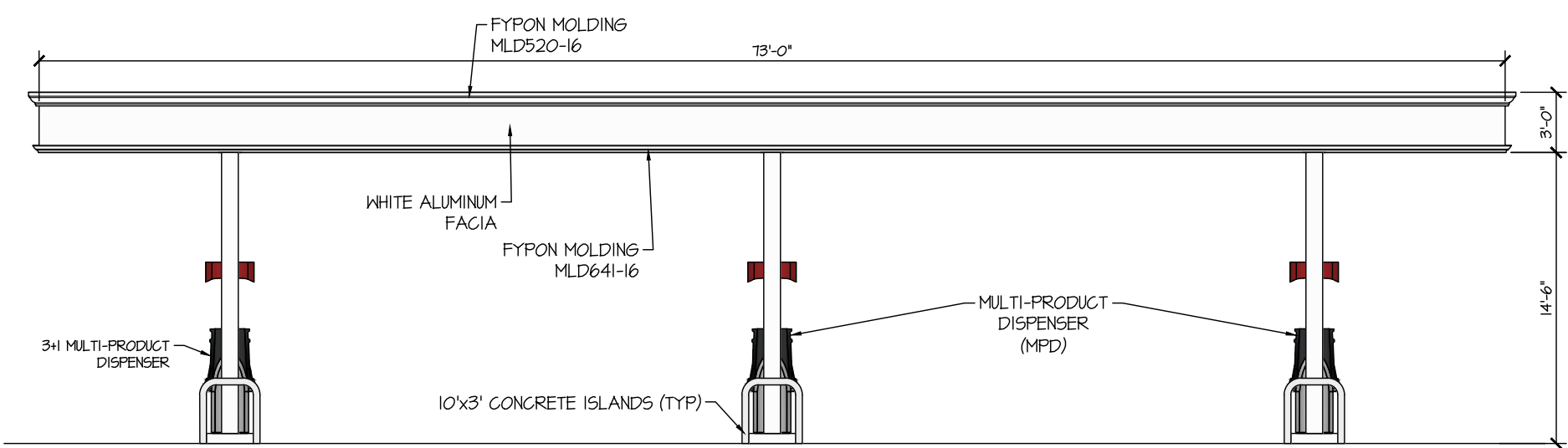
WEST BUILDING ELEVATION



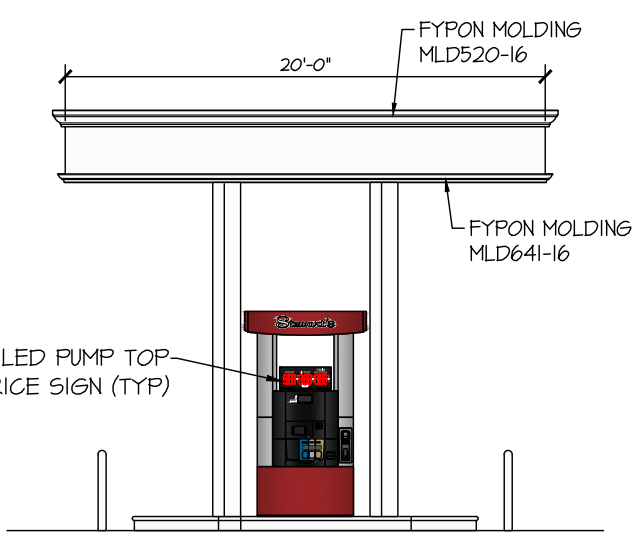
EAST BUILDING ELEVATION



SOUTH BUILDING ELEVATION



GAS CANOPY FRONT ELEVATION



GAS CANOPY SIDE ELEVATION



TYPICAL BUILDING SIGN

- SIZE: - 17 SQ. FT.
- LETTERS: - 1/8" FLEXIGLASS FACE ON 4-1/2" THICK CAN
- ILLUMINATION: - INTERNALLY ILLUMINATED WITH LED LIGHTING
- BURGUNDY LETTERS
- WHITE COLOR BACKGROUND

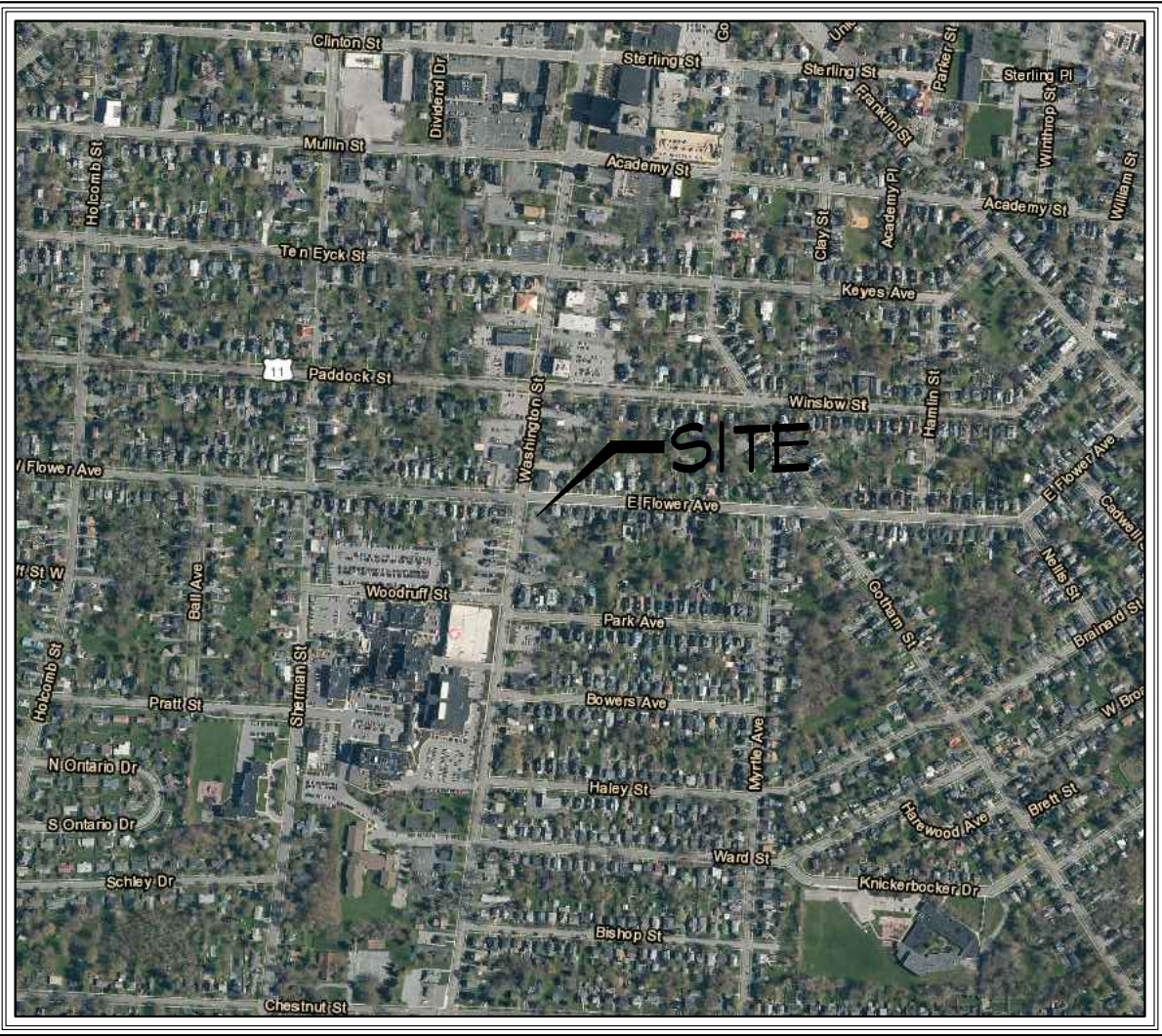
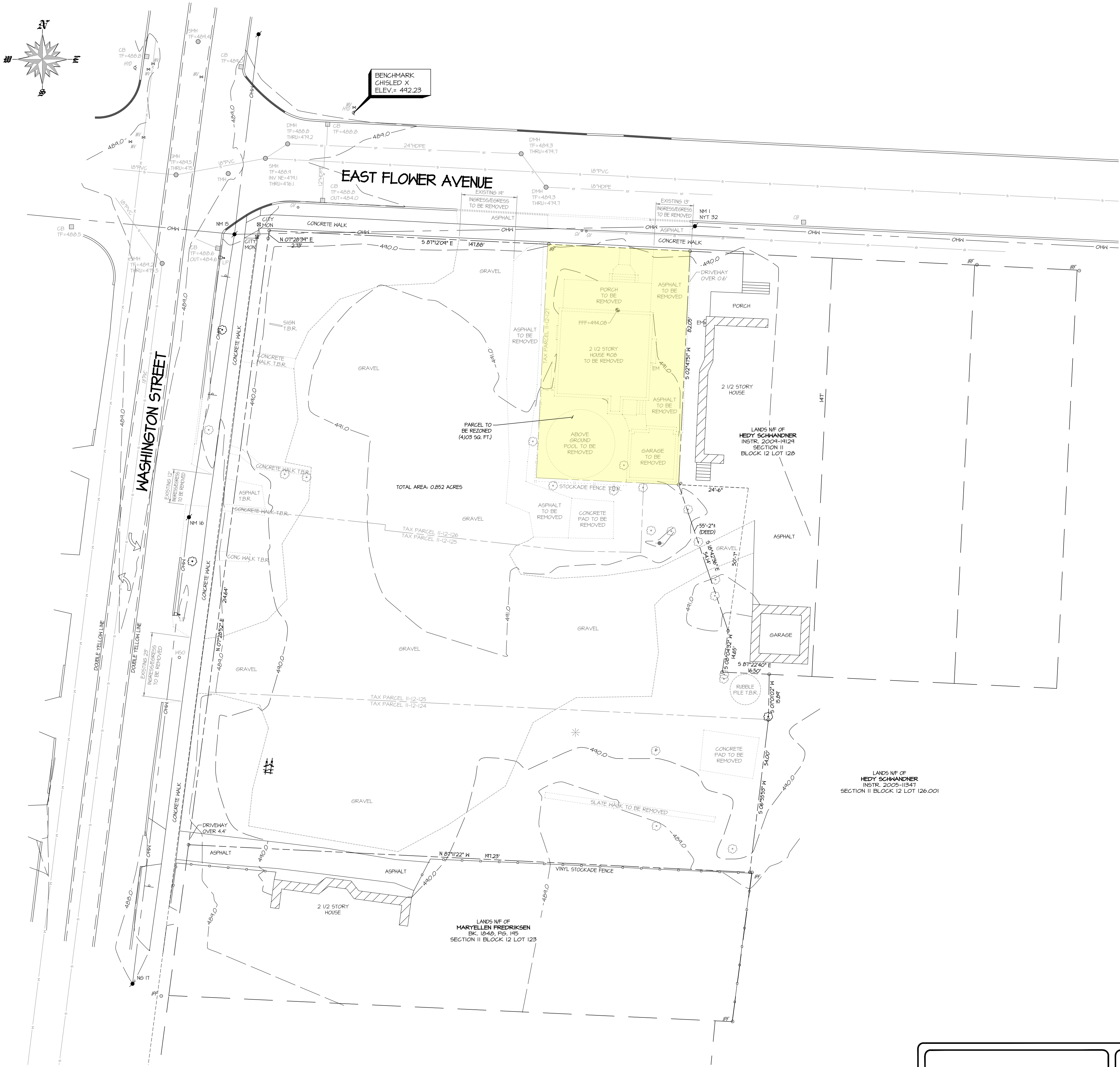


PROPOSED FREESTANDING SIGN

- SIZE: - 7'-10"x8' = 63 SQ. FT.
- LETTERS: - 1/8" FLEXIGLASS FACE ON 4-1/2" THICK CAN
- ILLUMINATION: - INTERNALLY ILLUMINATED WITH LED LIGHTING
- BURGUNDY LETTERS
- WHITE COLOR BACKGROUND
- 16" RED LED GAS PRICE NUMBERS
- 16" GREEN LED DIESEL PRICE NUMBERS

	STORE NAME, ABBREVIATION & NO.		WASHINGTON STREET - WSHX - 113	
	SITE LOCATION		WASHINGTON STREET & EAST FLOWER AVE - WATERTOWN, NY 13601	
	DATE	NO.	REVISIONS	
ALTERATIONS TO THIS DOCUMENT BY OTHER THAN AN AUTHORIZED LICENSED PROFESSIONAL ENGINEER IS ILLEGAL AND A VIOLATION OF THE NEW YORK STATE EDUCATION LAW				DRAWN BY: CP
		SARATOGA SPRINGS, NY 12866 TEL: (518)581-1200 FAX: (518)581-1209		SCALE: AS SHOWN DATE: 9/14/21
		TITLE: TITLE SHEET		DRAWING NO. T-1

LEGEND	
FIRE HYDRANT	
WATER VALVE	
GAS VALVE	
SEWER MANHOLE	
SEWER CLEANOUT	
CURB INLET	
CATCH BASIN	
GUY WIRE	
UTILITY POLE	
SIGNPOST	
TRAFFIC SIGNAL CONTROL BOX	
POLE LIGHT	
MONITORING WELL	
BOLLARD	
IRRIGATION SLEEVE	
OVERHEAD UTILITIES	
WATER SERVICE, 1" TYPE "K" COPPER	
SEWER SERVICE, 4" SDR 26	
STORM PIPE, PROPOSED, HDPE	
STORM PIPE, EXISTING	
STOCKADE FENCE	
CHAINLINK FENCE	
SPLITRAIL FENCE	
U/G ELECTRICAL/TELE SERVICE	
U/G ELECTRICAL CONDUIT	
U/G GAS LINE	
U/G CAMERAL CONDUIT	
DIESEL PRODUCT LINE	
SUPER PRODUCT LINE	
UNLEADED PRODUCT LINE	
EXISTING MAJOR CONTOUR	
EXISTING MINOR CONTOUR	
PROPOSED MAJOR CONTOUR	
PROPOSED MINOR CONTOUR	
PROPOSED SPOT ELEVATION	
EXISTING UNCHANGED SPOT ELEVATION	
NOTES: 1. SOME FEATURES IN LEGEND MAY NOT HAVE BEEN USED. 2. DARKER LINES INDICATE NEW WORK. 3. DOTTED LINES INDICATE REMOVED ITEMS.	



SITE LOCATION MAP

ALTERATIONS TO THIS DOCUMENT BY OTHER THAN AN AUTHORIZED LICENSED PROFESSIONAL ENGINEER IS ILLEGAL AND A VIOLATION OF THE NEW YORK STATE EDUCATION LAW

STORE NAME, ABBREVIATION & NO.  
WASHINGTON STREET - WSHX - 113

SITE LOCATION  
WASHINGTON STREET & EAST FLOWER AVE - WATERTOWN, NY 13601

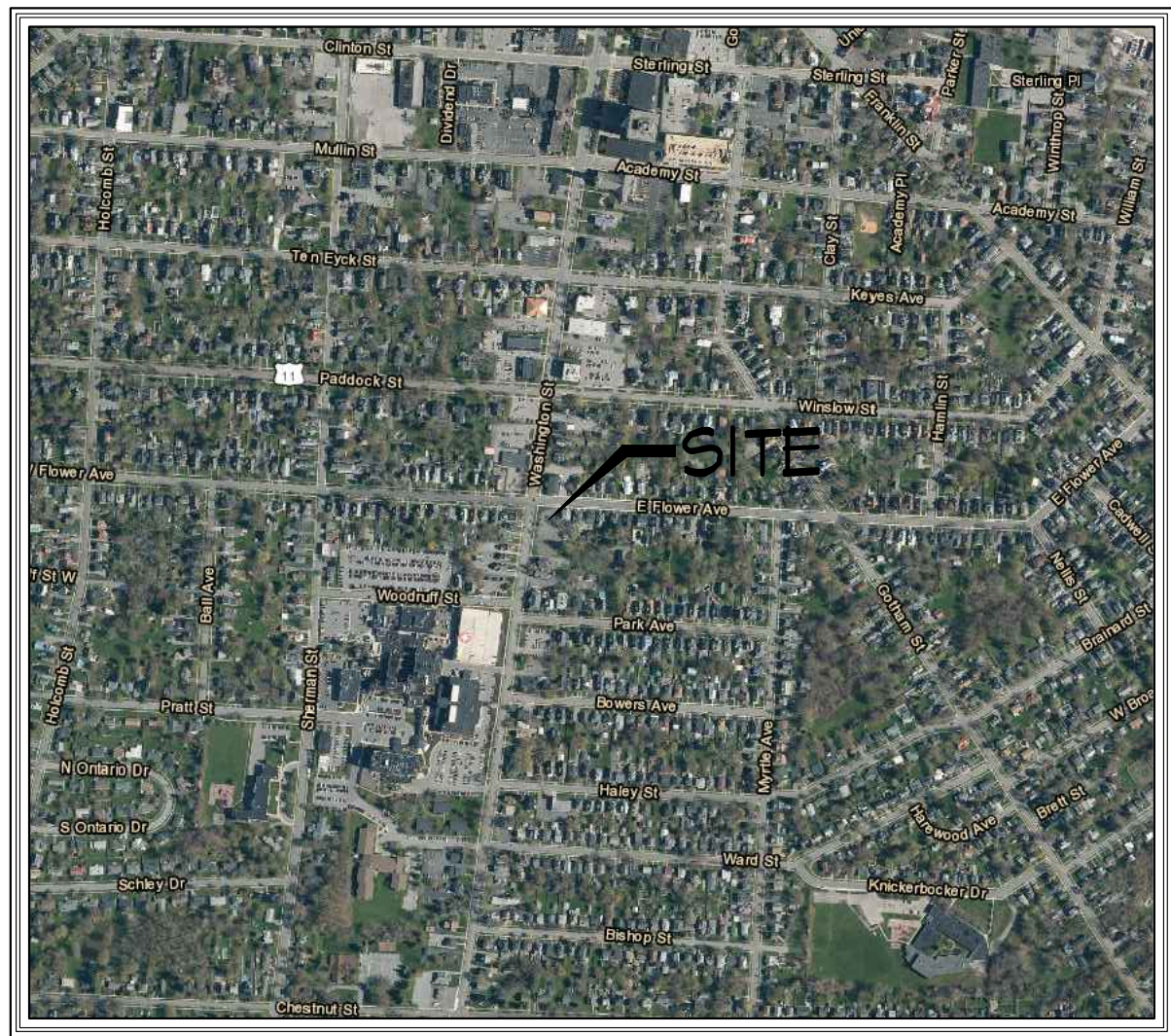
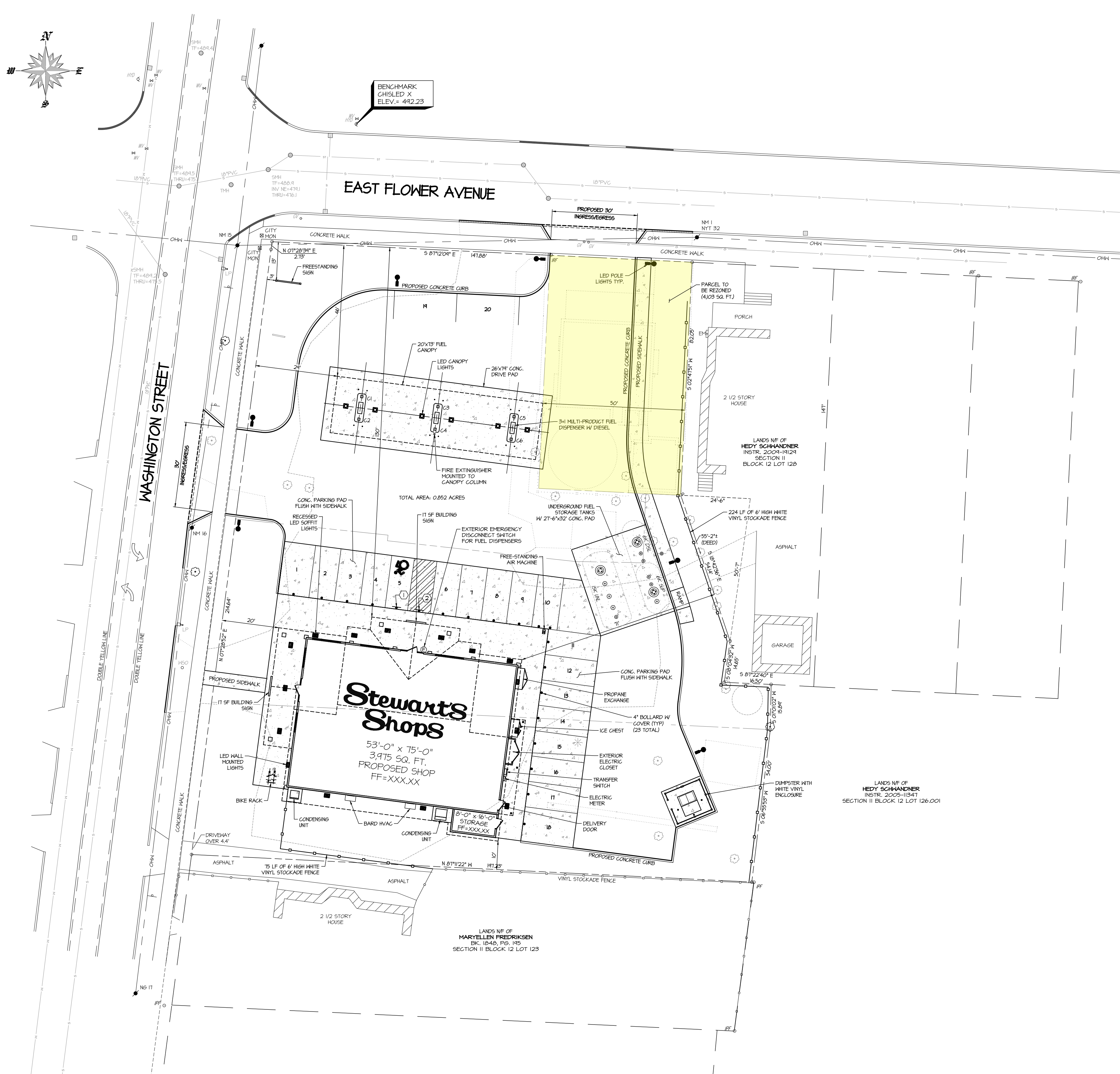
DATE	NO.	REVISIONS

SARATOGA SPRINGS, NY 12866  
TEL. (518)581-1200 FAX (518)581-1209

DRAWN BY: CP  
SCALE: 1" = 20'  
DATE: 9/3/21  
DRAWING NO. 5-1

TITLE:  
EXISTING SITE PLAN

LEGEND	
FIRE HYDRANT	
WATER VALVE	
GAS VALVE	
SEWER MANHOLE	
SEWER CLEANOUT	
CURB INLET	
CATCH BASIN	
GUY WIRE	
UTILITY POLE	
SIGNPOST	
TRAFFIC SIGNAL CONTROL BOX	
POLE LIGHT	
MONITORING WELL	
BOLLARD	
IRRIGATION SLEEVE	
OVERHEAD UTILITIES	
WATER SERVICE, 1" TYPE "K" COPPER	
SEWER SERVICE, 4" SDR 26	
STORM PIPE, PROPOSED, HDPE	
STORM PIPE, EXISTING	
STOCKADE FENCE	
CHAINLINK FENCE	
SPLITRAIL FENCE	
U/G ELECTRICAL/TELE SERVICE	
U/G ELECTRICAL CONDUIT	
U/G GAS LINE	
U/G CAMERAL CONDUIT	
DIESEL PRODUCT LINE	
SUPER PRODUCT LINE	
UNLEADED PRODUCT LINE	
EXISTING MAJOR CONTOUR	
EXISTING MINOR CONTOUR	
PROPOSED MAJOR CONTOUR	
PROPOSED MINOR CONTOUR	
PROPOSED SPOT ELEVATION	
EXISTING UNCHANGED SPOT ELEVATION	
NOTES: 1. SOME FEATURES IN LEGEND MAY NOT HAVE BEEN USED. 2. DASHED LINES INDICATE NEW WORK. 3. DOTTED LINES INDICATE REMOVED ITEMS.	



SITE LOCATION MAP

CITY OF WATERTOWN - JEFFERSON COUNTY  
TAX PARCEL # 11-12-124, 11-12-125, 11-12-126 & 11-12-127  
ZONING DISTRICT - NEIGHBORHOOD BUSINESS

	REQUIRED	PROPOSED	
MINIMUM LOT AREA		0.852 ACRES (37,071.71 SQ. FT.)	
MAXIMUM LOT AREA COVERED BY BUILDINGS	40%	11%	
FRONT BLDG SETBACK - (WEST)	20 FEET	20 FEET	
SIDE BLDG SETBACK - (NORTH)	10 FEET	150 FEET	
SIDE BLDG SETBACK - (SOUTH)	5 FEET	10 FEET	
REAR BLDG SETBACK - (EAST)	25 FEET	71 FEET	
FRONT GAS CANOPY SETBACK (WEST)	20 FEET	24 FEET	
SIDE GAS CANOPY SETBACK (NORTH)	10 FEET	48 FEET	
SIDE GAS CANOPY SETBACK (SOUTH)	5 FEET	143 FEET	
REAR GAS CANOPY SETBACK (EAST)	25 FEET	50 FEET	
GREEN SPACE	-	20%	
BUILDING HEIGHT	-	24 FEET	
STEWART'S BUILDING SIGN	-	2 @ 17 SQ. FT.	
FREESTANDING SIGN	-	1 @ 63 SQ. FT.	
		TOTAL OF 41 SQ. FT.	
PARKING	5 PER 1,000 SQ. FT. 3,975/1,000=3.975X5= 19.875 SPACES	20 SPACES TOTAL	
EXISTING SITE USAGE DATA	PROPOSED SITE USAGE DATA		
GREEN SPACE	13,128 SQ. FT. 31%	GREEN SPACE	10,554 SQ. FT. 28%
BUILDING	1,762 SQ. FT. 5%	BUILDING	4,105 SQ. FT. 11%
CONCRETE	472 SQ. FT. 3%	CONCRETE	4,572 SQ. FT. 26%
PAVEMENT	1,444 SQ. FT. 5%	PAVEMENT	12,871 SQ. FT. 35%
GRAVEL	18,647 SQ. FT. 50%		

RESERVED PARKING

HANDICAP SIGN  
12"x18" MIN. SIZE  
5'-0" MOUNTING  
HEIGHT MIN., SEE  
PLAN FOR LOCATION

VAN ACCESSIBLE

RT-2 & RT-8A

NO PARKING ANY TIME

NO PARKING SIGN  
12"x18" MIN. SIZE  
5'-0" MOUNTING  
HEIGHT MIN., SEE  
PLAN FOR LOCATION

RT-1

ALTERATIONS TO THIS DOCUMENT BY OTHER THAN AN AUTHORIZED LICENSED PROFESSIONAL ENGINEER IS ILLEGAL AND A VIOLATION OF THE NEW YORK STATE EDUCATION LAW

WASHINGTON STREET - WSHX - 113

SITE LOCATION  
WASHINGTON STREET & EAST FLOWER AVE - WATERTOWN, NY 13601

DATE	NO.	REVISIONS

SARATOGA SPRINGS, NY 12866  
TEL. (518)581-1200 FAX (518)581-1209

DRAWN BY: CP  
SCALE: 1" = 20'  
DATE: 9/3/21

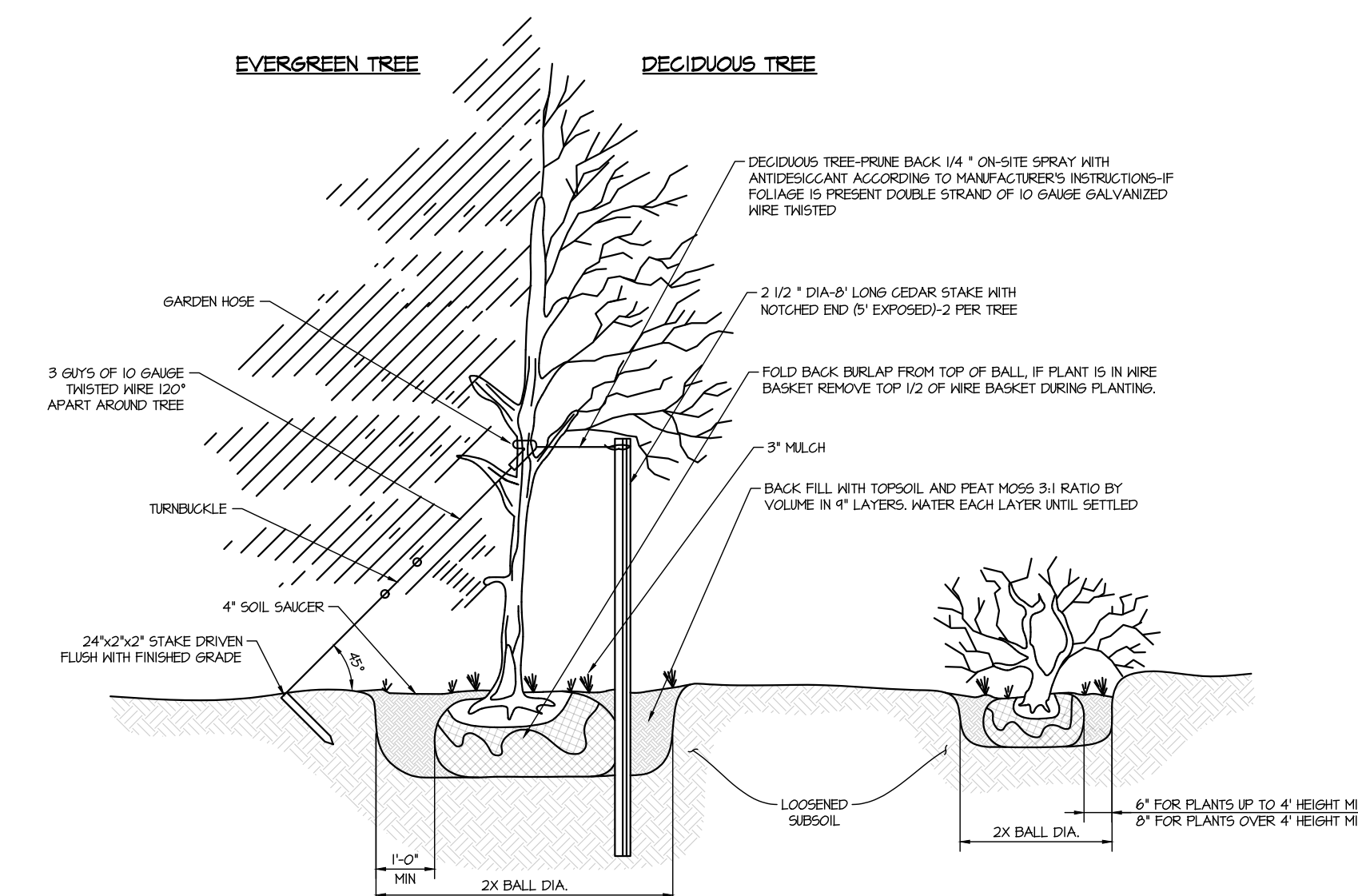
DRAWING NO.  
S-2

TITLE:  
PROPOSED SITE PLAN



	ABRV	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	SPACING
PERENNIALS	HS	HEMEROCALLIS 'STELLA DE ORO'	DAYLILY - STELLA DE ORO	84	2 GAL.	AS SHOWN
	RF	RUDEBECKIA FULGIDA	BLACK-EYED SUSAN	38	2 GAL.	AS SHOWN
	FF	FENISTEMUS FIGLET	GRASS - FIGLET FOUNTAIN	14	2 GAL.	AS SHOWN
	SN	SALVIA NEMOROSA 'MAINACHT'	SALVIA - MAY NIGHT	30	2 GAL.	AS SHOWN
	AG	ASTILBE X AREND'SII 'GRANAT'	GRANAT ASTILBE	31	2 GAL.	AS SHOWN
SHRUBS	OH	HYDRANGEA QUERCIFOLIA 'BRIDO'	SNOWFLAKE OAKLEAF HYDRANGEA	2	14"-18"	AS SHOWN
	SG	SPIRAEA GOLDMOUND	GOLDMOUND SPIREA	36	14"-18"	AS SHOWN
TREES	PA	PICEA ABIES	NORWAY SPRUCE	6	6'	AS SHOWN
	AR	ACER RUBRUM	RED MAPLE	17	4" GAL.	AS SHOWN

GRASS AREA (SOD)



### **PLANTING NOTES:**

- 1) DECIDUOUS PLANTING SEASONS  
SPRING: APRIL 1 - MAY 20  
FALL: OCTOBER 1 - NOVEMBER 15
- 2) ALL PLANTS SHALL BE GUARANTEED AND MAINTAINED BY LANDSCAPE CONTRACTOR FOR A PERIOD OF 1 YEAR AFTER BEING PROPERLY PLANTED.
- 3) ALL LANDSCAPING WILL BE MAINTAINED IN PERPETUITY AND DEAD OR DYING PLANTS SHALL BE REPLACED AS EQUAL, BUT STEADY.
- 4) WRAP DECIDUOUS TREES OVER 1" CAL. WITH PLASTIC TREE GUARDS REMOVE TREE - GUARDS AFTER A MIN. OF 2 WINTERS AND BEFORE A MAX. OF 5 WINTERS.
- 5) EVERGREEN TREE-GROUND LINE TO BE THE SAME AS EXISTED AT THE NURSERY TREE.
- 6) CALIPER IS TO BE MEASURED AT A HEIGHT OF 4'.
- 7) ALL STAKES AND GUY WIRES TO BE REMOVED 2 YEARS AFTER INITIAL PLANTING.

### PLANTING DETAIL



ALTERATIONS TO THIS DOCUMENT BY OTHER THAN AN AUTHORIZED  
LICENSED PROFESSIONAL ENGINEER IS ILLEGAL AND A VIOLATION OF  
THE NEW YORK STATE EDUCATION LAW

STORE NAME, ABBREVIATION & NO. WASHINGTON STREET - WSHX - 113

WASHINGTON STREET & EAST FLOWER AVE - WATERTOWN, NY 13601

[illegible]

SARATOGA SPRINGS, NY 12866  
TEL. (518)581-1200 FAX (518)581-1209

TITLE: LANDSCAPING

DRAWN BY: CP  
SCALE: 1" = 20'  
DATE: 9/3/21

DRAWING NO. S-5



# MEMORANDUM

CITY OF WATERTOWN, NEW YORK  
PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT  
245 WASHINGTON STREET, ROOM 305, WATERTOWN, NY 13601  
PHONE: 315-785-7741 – FAX: 315-785-7829

TO: Planning Board Members

FROM: Michael A. Lumbis, Planning and Community Development Director

SUBJECT: Zone Change – 108 Flower Avenue East

DATE: September 30, 2021

---

**Request:** To Change the Approved Zoning Classification of 108 Flower Avenue East, Parcel Number 11-12-127.000, from Residence B to Neighborhood Business

**Applicant:** Stewart's Shops Corporation

**Owner(s):** Hedy M. Cirrincione

**SEQRA:** Unlisted

**County review:** No

---

**Comments:** The applicant seeks to rezone the subject parcel from Residence B to Neighborhood Business to facilitate the development of a gas station/convenience store use at the southeast corner of the Washington Street/Flower Avenue intersection that would stretch across the subject parcel and three neighboring parcels at 703, 707 and 715 Washington Street. The three parcels on Washington Street are presently zoned Neighborhood Business which allows convenience stores by right and gas stations with a Special Use Permit. The preliminary plans for the development, which are attached as part of the application, depict an entrance drive and part of the parking lot on the land that is presently 108 Flower Avenue East. Residence B districts do not allow retail uses, gas stations or commercial parking.

**Existing Conditions:** Presently, the entire 100 block of Flower Avenue East is zoned Residence B, except for the corner parcels at 629 and 703 Washington Street, which are zoned Limited Business and Neighborhood Business, respectively. The other three parcels involved in the proposed gas station/convenience store development, which all front on Washington Street, are already zoned Neighborhood Business.

There is presently an aging single-family dwelling on the subject parcel that the applicant proposes to demolish. The 703, 707 and 715 Washington Street parcels are undeveloped land. The existing land uses on the other three corners of the Washington Street/Flower Avenue intersection are as follows:

NE Corner: Samaritan Rheumatology and Plastic Surgery (professional building).

NW Corner: Surface parking lot that is screened by trees and serves an adjacent professional building with various medical offices.

SW Corner: Two-family dwelling.

**Future Plans:** As mentioned above, the applicant proposes to develop a gas station/convenience store across four parcels on the southeast corner of the Washington Street/Flower Avenue intersection, including the subject parcel. Since the subject parcel is presently zoned Residence B, the applicant is requesting the Zone Change so that the proposed future use would be legal.

This proposed development would also require Site Plan Approval and a Special Use Permit, as Neighborhood Business Districts allow gas stations only with a Special Use Permit.

**Zoning and the Comprehensive Plan:** The City's adopted Comprehensive Plan recommends the future land use character of this intersection as Urban Mixed Use/Downtown Transition.

The plan envisions these areas as follows:

*"The Urban Mixed-Use areas are historic areas generally located between the Central Business District (CBD) and residential neighborhoods where land use transitions from intense urban business to lesser intense residential and compatible non-residential uses. These transitional areas begin to have obvious changes in building types, architectural styles, lot sizes, and pedestrian activity. Buildings are generally lower in height and parking may be onsite, preferably behind or at the side of the building to avoid a suburban look. Buildings are designed to be visually appealing with shorter setbacks to address the sidewalk and help reinforce a positive pedestrian experience."*

The segment of Washington Street stretching from Mullin St./Academy St. to Woodruff St./Park Ave. is one of four Urban Mixed-Use areas that surround Downtown on the Future Land Use Map in the Comprehensive Plan. The plan envisions these as transitional areas per the above definition.

Whether specific elements of the conceptual site plan are consistent with the description above is something that the Planning Board will consider as part of site plan review and is not immediately relevant to the Zone Change. Per the above definition and the Future Land Use Map, the proposed rezoning of 108 Flower Avenue East is in harmony with the Comprehensive Plan.

**SEQR:** The applicant has submitted a State Environmental Quality Review (SEQR) Short Environmental Assessment Form (EAF) as part of the application for the Zone Change. The City Council, as the lead agency, will complete Part 2 of the EAF and make a determination of significance. The City Council will need to consider the Zone Change, Special Use Permit and Site Plan as a single "whole action" to avoid segmenting the review.

















cc: City Council Members

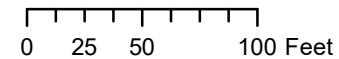
Michael Delaney, City Engineer

Charles Marshall, Stewart's Shops Corp., P.O. Box 435, Saratoga Springs, NY 12866

Neville Gruenberg, Pyramid Brokerage Company, 5786 Widewaters Parkway, P.O. Box 3,  
Syracuse, NY 13214

# Legend

-  REQUESTED ZONE CHANGE
-  RIVER DEVELOPMENT DISTRICT
-  DOWNTOWN CORE OVERLAY
-  Open Space and Recreation
-  DOWNTOWN
-  RESIDENCE A
-  RESIDENCE B
-  RESIDENCE C
-  WATERFRONT
-  LIMITED BUSINESS
-  NEIGHBORHOOD BUSINESS
-  COMMERCIAL
-  HEALTH SERVICES
-  LIGHT INDUSTRY
-  HEAVY INDUSTRY
-  PLANNED DEVELOPMENT



## CITY OF WATERTOWN, NEW YORK GIS DEPARTMENT



ROOM 305B, MUNICIPAL BUILDING  
245 WASHINGTON STREET  
WATERTOWN, NEW YORK 13601

TEL: (315) 785-7793

Drawn By: G.Jeronimo

Date: 9/27/21

Requested By: G.Urda

Date:

Scale: As Noted

Map Number:

Revision:

Description of Revision:

Date:

By:



Project:

**ZONE CHANGE MAP**  
(Residence B to Neighborhood Business)

Title:

**108 Flower Ave E**

(11-27-127.000)

**ZONE CHANGE REQUEST – 108 FLOWER AVENUE EAST  
PARCEL NUMBER 11-12-127.000**

The Planning Board then considered a request submitted by Charles Marshall, the Real Estate representative for Stewart's Shops Corporation to approve a Zoning Classification change from Residence B to Neighborhood Business at 108 Flower Avenue East, Parcel Number 11-12-127.000

Mr. Marshall was present to represent the project. He started with a brief overview and said that Flower Avenue runs East and West and Washington Street runs North and South. He said that the requested rezoning would facilitate a proposed Stewart's Shops location to replace the existing store at 1226 Washington Street. He then directed the room's attention to the map projected on the wall and pointed out the subject parcel on a map. That parcel represented 11 percent of the total land area required for the project that is owned by Hedy M. Cirrincione and under contract by Stewart's. He said pursuant to the Residence B zoning it was a legal, non-conforming parcel and it lacks frontage, with only 50 linear feet of frontage, and the minimum requirement is 60 feet of frontage as well as the square-foot requirements were 5000 SF, and the 108 Flower Avenue parcel is only 4,100 SF in total area.

Mr. Marshall again directed attention to the Zoning map and identified the Residence B Zoning for the 108 Flower Ave. East parcel. He said the reason for the Zone Change request was that Section 310-54 of the Code required that the zoning for access through a parcel be identical to the zoning of the parcel being accessed.

Mr. Marshall then pointed to the map and said that the Limited Business zoning district extended into the neighborhood to the north and to the west. He said the City's adopted Comprehensive Plan recommended Urban Mixed Use as the future land use for that corridor.

Mr. Marshall said that Stewart's conceptual site plan proposed sidewalks connecting to the Washington Street side and that a sidewalk that would come in off Flower Avenue East as well, which he said was consistent with the walkability standards of the Urban Mixed Use future land use character area. He pointed out the two proposed sidewalk connections on a conceptual site plan drawing and showed elevation drawings of the proposed building from each side.

Mr. Marshall then discussed photometrics and said that exterior lighting would be controlled with a switch and not a timer to alleviate concerns about light spillage and said the photometric plan would show zero Footcandles across all property lines. He added that Stewart's would use down lit LED fixtures and that the building would act as a screen to the property located to the south.

Mr. Marshall then pointed out a proposed 15-foot landscape buffer along the eastern parcel boundary. He said that he conducted a neighborhood meeting at the site, and the only neighbor that attended was Maryellen Blevins, who lived at 719 Washington Street. He said that her main concern was increase in traffic. Mr. Marshall said that the average annual daily trips on that segment of Washington Street was 11,822, and cited his data source as the New York State Department of Transportation's (NYSDOT) online traffic data viewer, which was based on 2019

data. He then said that according to his team's calculations, the new Stewart's Shop would create less than an 8 percent increase in traffic. (Ms. Blevins also emailed the Planning Department with her concerns of increased noise, toxic odors, and rodents). Mr. Marshall then showed before and after conceptual renderings of the store from three different vantage points.

Mr. Coburn said it was a small parcel and made sense to him to rezone it as Neighborhood Business. Ms. Fields agreed; however, she said she was concerned about how far down Flower Ave East the Neighborhood Business zoning might go. Mr. Marshall said some neighbors signed a letter of support in 2012 when the parcels fronting Washington Street were rezoned from Limited Business. He said they would reach out again to neighbors since the last meeting only had one attendant.

Ms. Capone said she had several residents reach out to her personally and she directed them to City Planning Staff for their comments to be put on record. She said some were confused about the difference between the Zone Change request and the Site Plan Approval application.

Mr. Urda provided a summary of the comments that were received by neighbors, and also noted that there were members of the public in the room and said they would have the opportunity to speak. He then said that Staff received an email (letter) from Ms. Blevins and that he and Mr. Lumbis had met with her on site on September 30, 2021 to explain the proposal and answer questions. He said that Ms. Blevins shared with them her concerns about traffic, the toxicity of gas stations and Benzene exposure in particular. He then said that earlier in the day, Staff had received a phone call from Al Thompson at 323 Flower Avenue East. He said Mr. Thompson spoke in favor of the Zone Change and that he did not feel it would cause a negative impact on the street or increased traffic. Mr. Urda then said that Mr. Thompson expressed a belief in the need for some screening or buffering. Mr. Lumbis noted that the letter received from Ms. Blevins had been forwarded to the Planning Board via email.

Ms. Capone also said Marcia Kettrick of 214 Flower Ave West had contacted her. Mr. Urda replied that Ms. Kettrick had also emailed Staff and said that she was also concerned about increased traffic and pollution.

Mr. Marshall then addressed Ms. Blevins' concern and said his team would study morning and afternoon peak traffic times. He then said Stewart's Shops has hired an appraisal service to determine what, if any, impact the proposed gas station would have on the surrounding housing market. He then said the current Stewart's location at the corner of Washington and Elm Streets is also zoned Neighborhood Business and that the other two Stewart's Shops within the City are in Commercial Districts.

Mr. Coburn then invited residents to have privilege of the floor. Marcia Kettrick of 214 Flower Ave West was present and said she wanted to know when the Washington Street parcels were rezoned from Limited Business to Neighborhood Business. Mr. Urda replied that it was in 2012. Mr. Lumbis then said that they were rezoned under request of the current property owner, Hedy Cirrincione, within the proposed use of converting one of the existing houses into a retail use selling hospital scrubs. He said the project never went through after which the houses were torn down and the parcels went up for sale.

Ms. Kettrick then said that she was also concerned about the use of the vacated Stewart's Shop farther south on Washington Street. She said that that gas tanks were in the ground there and wondered what Stewart's proposal for that property was and who would monitor the tanks left idle in the ground. She added that there is always the potential for gas tank leaks and spills.

Ms. Kettrick suggested that Stewart's could purchase the house/land behind their existing location at Washington and Elm and rezone that property to facilitate an expansion. She said they could figure out the old building and fix that. She then said she felt that would be a less invasive option than building a new gas station in the proposed location.

Ms. Kettrick then noted that the intersection of Washington Street and Flower Avenue consisted of professional and medical businesses, and she didn't feel there was a need for a Stewart's Shops in that location. She said the traffic was an atrocious problem. She said she walks and drives in her neighborhood, and it was hard to get across Washington Street from Flower Ave East to Flower Ave West. She said adding additional traffic to that corner would not be beneficial.

Mr. Marshall said the regulation of gas is handled by the New York State Department of Environmental Conservation (DEC) and NYCRR-613 which is the section of state code that governs the bulk storage of petroleum and chemicals. He then said when Stewart's closes a facility, they would pull the tanks out of the ground and remove the pump canopies. He said they look at it like swapping gas locations.

Ms. Capone asked Staff about the Comprehensive Plan and whether the future land use character area was all the same for that corridor.

Mr. Urda said it was planned for Urban Mixed Use/Downtown Transition and this this recommendation was uniform on both sides of Washington Street from the Dulles State Office Building south to Samaritan Medical Center.

Mr. Katzman asked where and when did the professional district get zoned.

Mr. Urda replied that the new zoning map in the City's ongoing zoning ordinance rewrite would be largely based on the future land use map in the Comprehensive Plan, which for the Washington Street corridor north of Woodruff Street would be Urban Mixed Use and south of Woodruff would be Campus Health and Education.

Mr. Katzman said that as a long-term resident of the city, he would like to see Washington Street restored to its historic value. He said that, in his professional real estate opinion, he believed real estate values would decrease, contrary to Mr. Marshall's comments assuring homeowners that Stewart's would evaluate the housing market. He said that Flower Avenue is one of the most beautiful and historic streets in the city.

Mr. Katzman then said he thought Stewart's Shops' appraisers would be biased based on their affiliation with Stewart's as their employer. He recommended an independent appraiser,

possibly hired by the City of Watertown. He then suggested if this project went forward, he would like to see more green space when the existing Stewart's Shop closes.

Ms. Fields said she too had a professional real estate opinion, and hers was that there would not be any decrease in home values on Flower Avenue East or West. She said she was still concerned with emissions and venting of gas and petroleum products. She said that the item before the Planning Board today was strictly the Zone Change and she wanted to stay on task and address that agenda item. Ms. Fields then invited City resident and City Councilwoman Lisa Ruggiero who is a licensed Broker for Heffron Real Estate, who was in the audience, to share her professional observations.

Ms. Ruggiero said she was not in attendance for that purpose and that she didn't plan to speak or give an opinion. She then said she had received several emails with the same concerns that Staff had heard from residents. She said that Lance Evans, the Executive Officer of the Jefferson-Lewis Board of Realtors and Chair of the Watertown Housing Committee, who lived on Flower Avenue West, had contacted her. She said that in his letter, he cited a potential loss of property values.

Ms. Ruggiero then said she heard that there was a neighborhood petition being circulated. She said the greatest concerns were traffic, lights and trash. She said she would personally have some concerns if she was a neighboring property owner and tried to move from there and sell her home; that this project could slow the process down in terms of selling it. She then said there is a flip side to that opinion because she has heard others say they would love the convenience of the walkable location. Ms. Ruggiero then said that the Zoning Change was all that was before the Planning Board at this time.

Ms. Fields said she had no issues with approving the Zone Change.

Mr. Babcock said as the Planning Board reviewed the Zone Change, whether a Stewart's Shop's opens up or not, that rezoning the subject property would square up the Neighborhood Business portion and it made sense, as it would not be an odd-shaped district boundary.

Mr. Coburn reiterated the need to stick to the Zone Change and its consistency with the Comprehensive Plan. He also said that he lives next door to a Stewart's Shops, and they are great neighbors.

Ms. Kettrick again took the floor to express confusion regarding how the Planning Board could so easily separate the Zone Change request from the Site Plan Approval from each other. She said the whole site proposal appeared to be intertwined.

Mr. Coburn said he understood her concerns, but they rezone based on the Comprehensive Plan for the future good of the City. He then said rules and guidelines needed to be followed and facts and figures need to be adhered to, and the Planning Board cannot move on emotions.

Ms. Capone then said to remember that the gas station part of the proposed development was not included in today's approval, and that component had to go before City Council as part of a Special Use Permit application.

Mr. Katzman said he felt the Zone Change request would be encroaching on the current residential properties.

Mr. Urda, in response to Ms. Kettrick's original question, said the reason the Zone Change and Site Plan approvals were separate, is because they are different actions and there are different criteria for each. He said the Zone Change is a legislative act, whereas Site Plan Approval is an administrative function, and the Planning Board is charged with evaluating different sets of facts when considering each and that was why they are intentionally separated.

Mr. Lumbis then said that the Planning Board and City Council needed to consider all allowed uses in the Neighborhood Business District prior to changing the zoning. He said it is sometimes difficult to separate the two, but you need to consider allowed uses such as retail stores, restaurants, hotels, automobile sales lot etc. He said there is a list of allowed uses that should have been kept in mind when the Washington Street parcels were previously rezoned. He said the original focus was on a project that consisted of a small retail store selling hospital scrubs, which seemed to fit the neighborhood. However, when that fell through, there was the potential for all the other uses that the district allows.

Ms. Capone asked if this would be an allowed use under the new Zoning Rewrite. Mr. Lumbis replied that the committee is still working on the rewrite process, and they have only have a draft zoning map. Ms. Capone then said she wanted to state for the record the level of frustration she felt when the Zoning Ordinance is so old, and it inhibits how the Planning Board can effectively review requests.

Mr. Lumbis said the City is in a difficult transition period since the Comprehensive Plan has been, but the new Zoning Ordinance is not in place yet. He said they had been working on the zoning rewrite project for the last year or so, and absent putting a moratorium on new development, the Planning Board and Staff will have to continue to use what is in place.

Ms. Capone asked if there was an expiration date on a Zone Change. Mr. Urda replied that a Zone Change is a legislative act and not like a Site Plan, which is an administrative function. He said that the only way to reverse the Zone Change would be to have another legislative act rezoning it back.

Mr. Lumbis said a Special Use Permit does have an expiration date of one year under the current City zoning. He then said that after the original retail scrubs store project fell through, the City Council could have rezoned the Washington Street parcels back to Residence B; however, that didn't happen.

Mr. Katzman asked if the City could change those parcels from Samaritan Medical Center down Washington Street back to professional use. Mr. Urda replied that Staff recommended a moratorium on *City-initiated* zone changes while the Zoning Rewrite process is ongoing.

Mr. Katzman said we should make a moratorium on development north of Samaritan Medical Center down Washington Street all the way to the State Office Building, both sides of the street for no new construction. Mr. Urda then referred back to what Mr. Lumbis had said, explaining that a moratorium on new development would not be fair to developers or businesses. Ms. Capone then said that she didn't think that type of moratorium by the City would benefit the community.

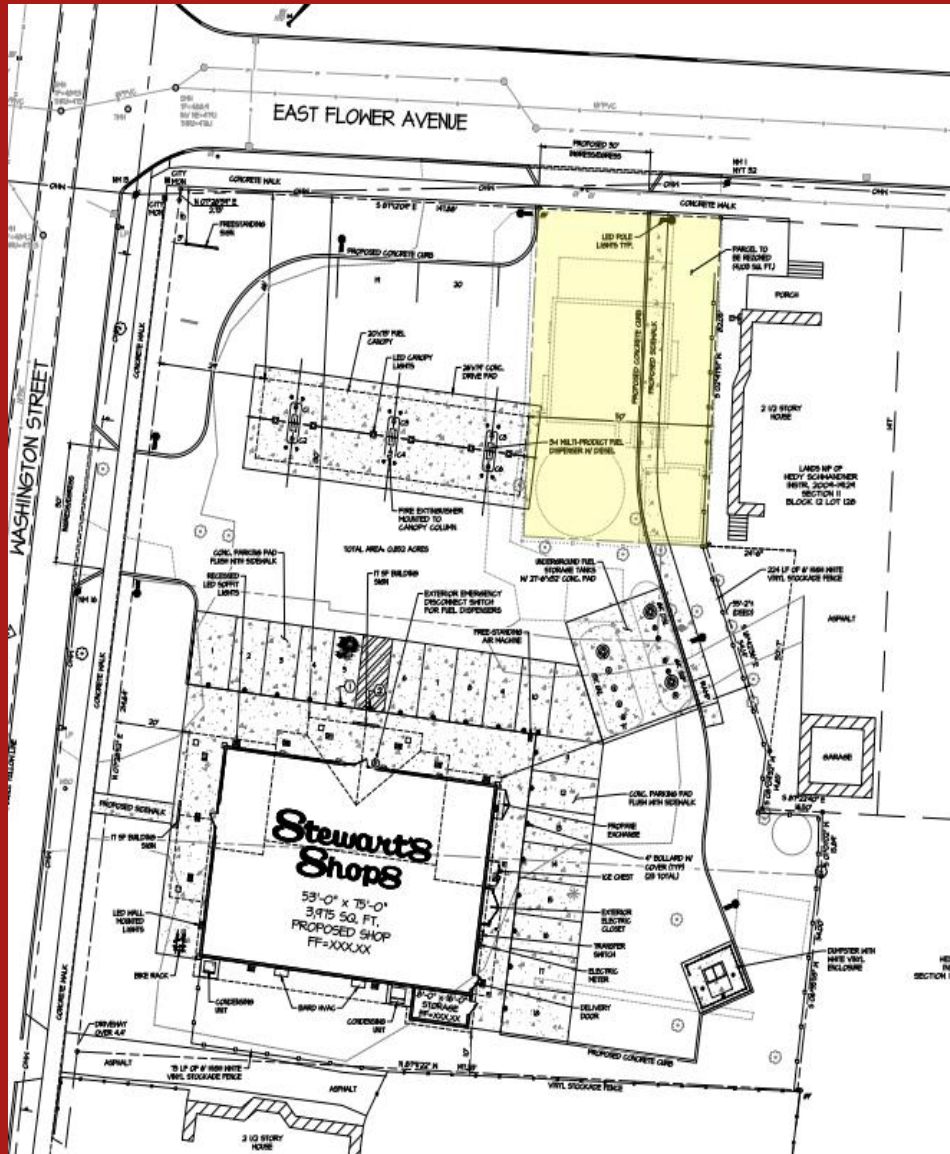
Mr. Coburn then invited another resident, that arrived late, to have privilege of the floor.

Samuel J. Booth, of 136 Flower Avenue East said his concerns would be best addressed at the Site Plan Review meeting. He said the traffic is bad in that intersection even without a business there. He usually uses Paddock Street to access to Washington Street where there is the protection of a traffic signal. He said a business with entrances on both Washington Street and Flower Ave East would be a bigger headache unless a traffic signal went there as well. He said he didn't have any issues with the Zone Change, but he didn't understand why it was so important to have both parcels zoned the same. He said that his questions were more concerning the Site Plan and he was glad he attended and learned a great deal about the process.

Hearing no further discussion, Mr. Babcock made a motion to recommend that the City Council approve a request submitted by Charles Marshall of Stewart's Shops Corporation to change the Approved Zoning Classification of 108 Flower Avenue East, Parcel Number 11-12-127.000 from Residence B to Neighborhood Business.

Ms. Fields seconded the motion. The Planning Board adopted the motion five to one with Mr. Katzman casting the dissenting vote.

Ms. Capone then said she wanted to make a comment. She said she wanted Staff, when they reviewed Site Plans to start addressing whether they fit within the Comprehensive Plan, such as the forward-facing buildings as in Stewart's Shop. She said the gas canopies should be in the rear. She compared this project to the dentist office on Washington Street where we asked them to move the building closer to the street. She finished and said going forward if this is the intent from the City, we need to start implementing it.

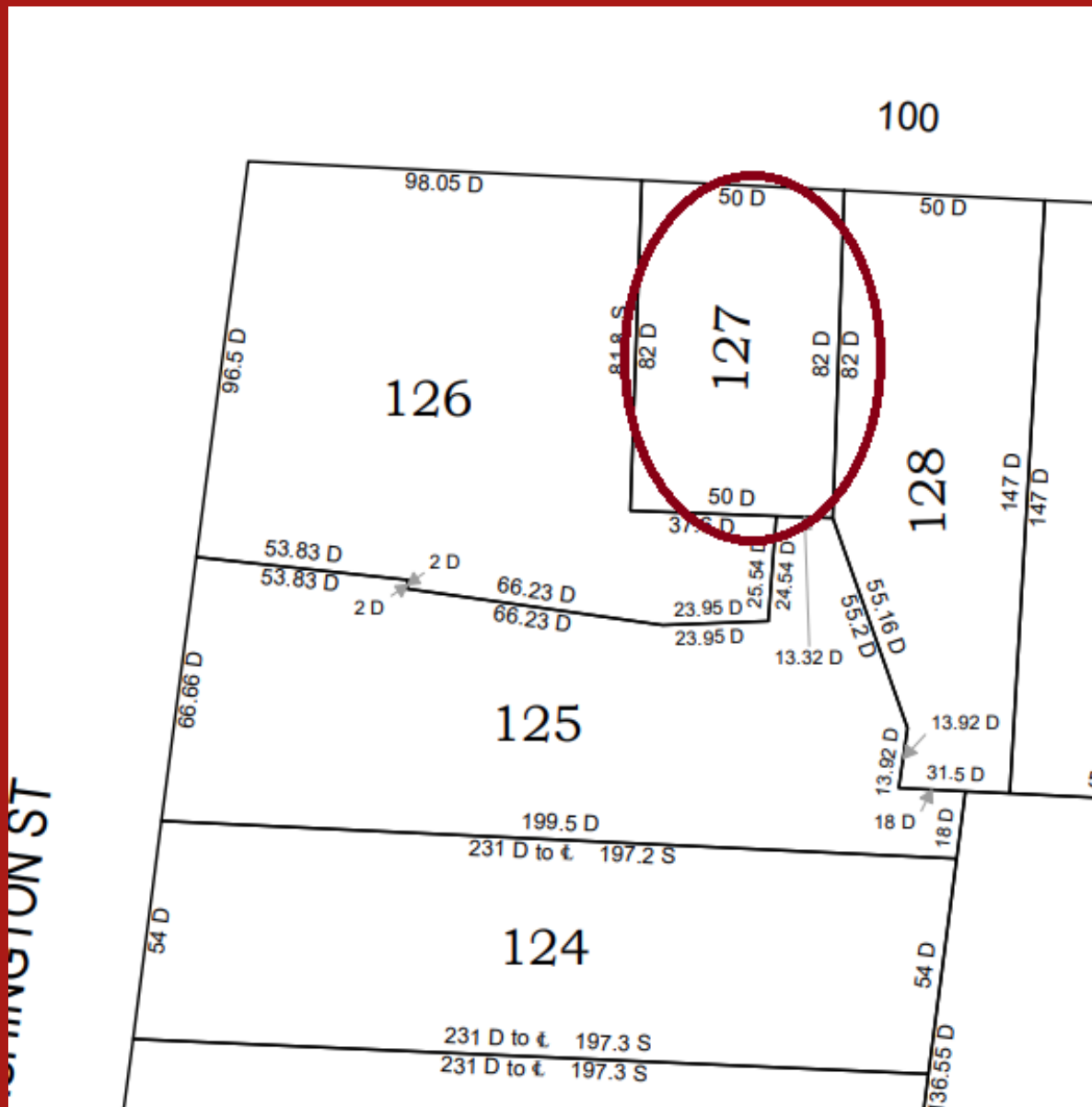


# 108 FLOWER AVE EAST REZONE APPLICATION BY STEWART'S SHOPS

PRESENTED BY: CHUCK MARSHALL - STEWART'S SHOP

CITY OF WATERTOWN PLANNING BOARD 10/5/21





108 FLOWER AVE EAST  
REZONE APPLICATION

☐ § 310-13 Minimum lot sizes.

[Amended 5-11-1964; 1-11-1971; 4-12-1971; 3-20-1978; 6-6-2011]

Every parcel of land shall meet the following minimum sizes for the district it is located in:

District	Lot Size (square feet)	Lot Size/Household (square feet)	Lot Width (feet)
Residence A	7,500	7,500	75
Residence B	6,000	3,000	60
Residence C	5,000	2,500	50
Limited Business	—	1,000	—
Neighborhood Business	—	1,000	—
Commercial	—	1,000	—
Downtown	—	250	—
Health Services	—	2,500	—
Light Industrial	—	N.A.	—
Heavy Industrial	—	N.A.	—
Open Space and Recreation	—	N.A.	—
Waterfront	—	500	—

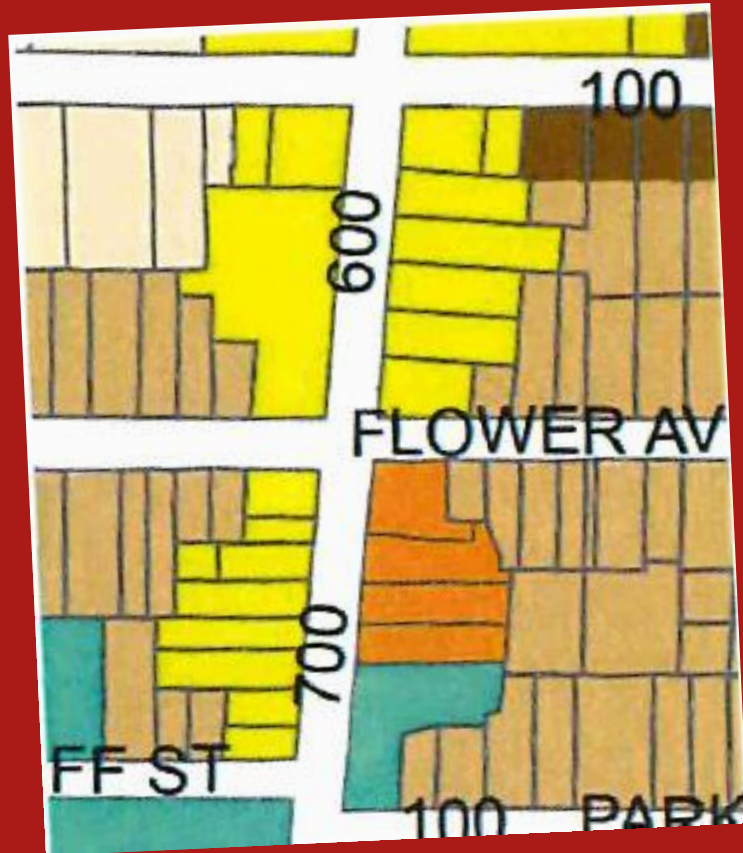
☐ § 310-54 Access to certain uses.

[Amended 7-25-1972]

- A. No driveway or other means of access for vehicles, other than a public street, shall be maintained or used in any Residence District for the servicing of any allowable use located in a Neighborhood Business, Limited Business, Commercial, Light Industrial, Heavy Industrial District or Planned Development District.



Existing Zoning Map



Proposed Zoning Map



108 FLOWER AVE EAST  
REZONE APPLICATION

# ADHERENCE TO THE COMPREHENSIVE PLANS

## Urban Mixed Use

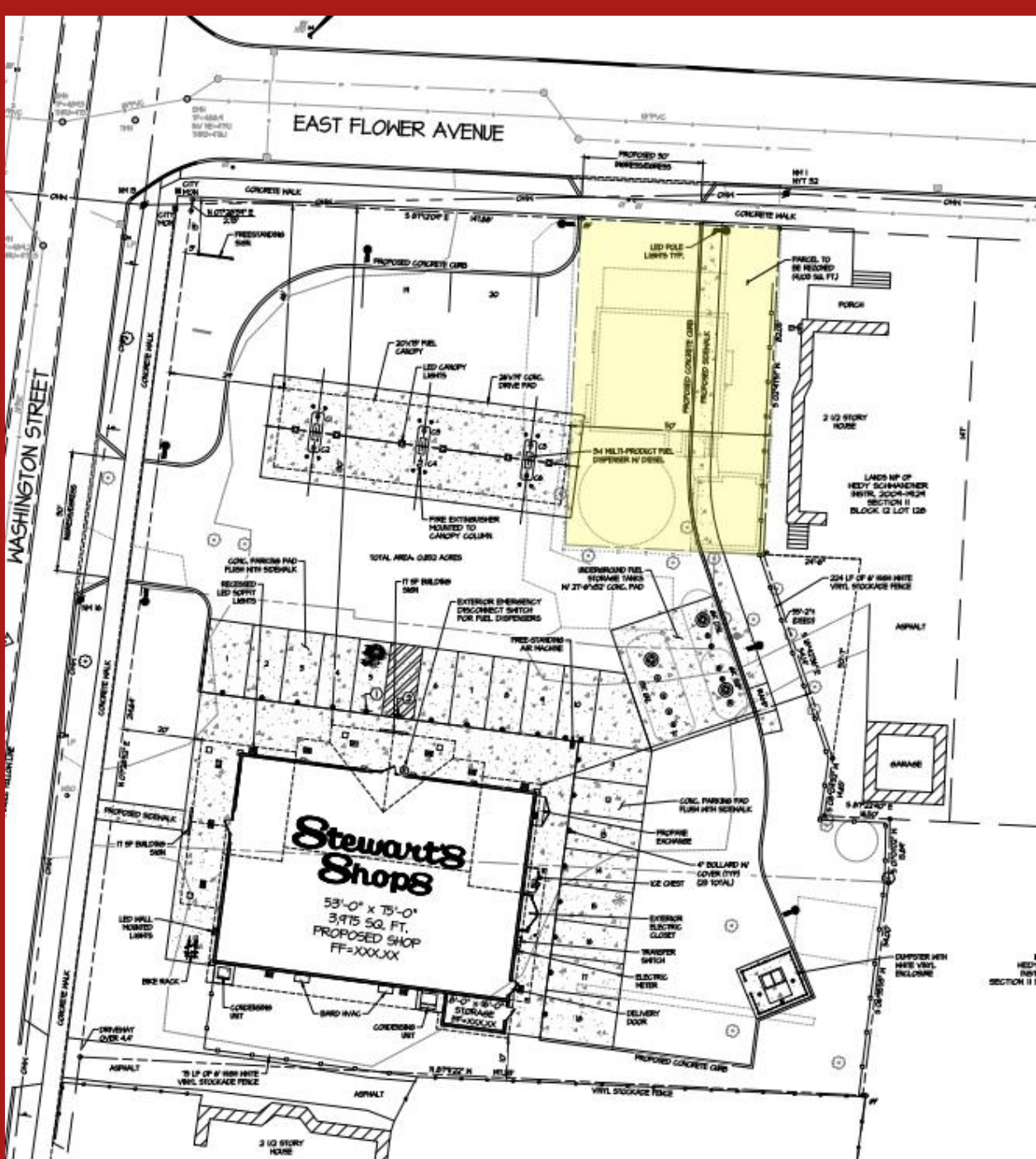
The Urban Mixed-Use areas are historic areas generally located between the Central Business District (CBD) and residential neighborhoods where land use transitions from intense urban business to lesser intense residential and compatible non-residential uses. These transitional areas begin to have obvious changes in building types, architectural styles, lot sizes, and pedestrian activity. Buildings are generally lower in height and parking may be onsite, preferably behind or at the side of the building to avoid a suburban look. Buildings are designed to be visually appealing with shorter setbacks to address the sidewalk and help reinforce a positive pedestrian experience.

## PLANNING STAFF COMMENT LETTER 9/30/21

Whether specific elements of the conceptual site plan are consistent with the description above is something that the Planning Board will consider as part of site plan review and is not immediately relevant to the Zone Change. Per the above definition and the Future Land Use Map, the proposed rezoning of 108 Flower Avenue East is in harmony with the Comprehensive Plan.

108 FLOWER AVE EAST  
REZONE APPLICATION



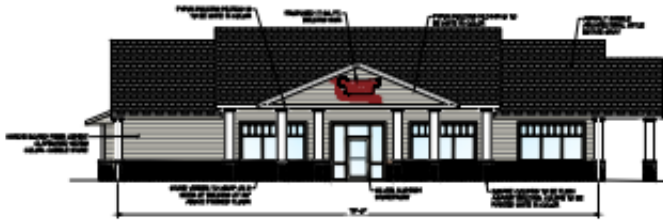


# PROPOSED SITE PLAN

- 3,975 SQ FT STORE
- 3 PUMPS (6 FUELING POSITIONS)
- PEDESTRIAN ACCESSIBLE SIDEWALKS



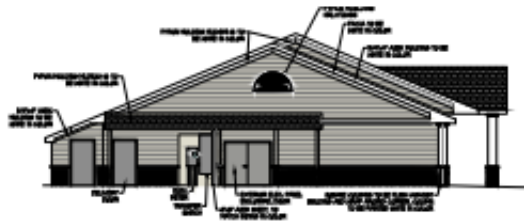
PROPOSED STEWART'S SHOP  
WASHINGTON STREET & EAST FLOWER AVENUE  
WATERTOWN, NY 13601



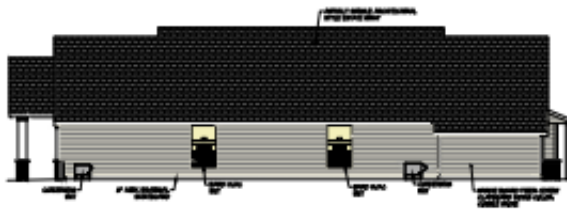
NORTH BUILDING ELEVATION



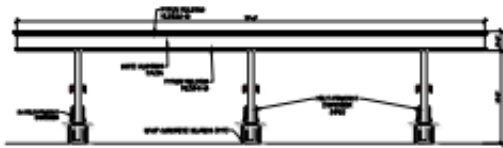
WEST BUILDING ELEVATION



EAST BUILDING ELEVATION



**SOUTH BUILDING ELEVATION**



**GAS CANOPY FRONT ELEVATION**



### GAS CANOPY SIDE ELEVATION



**TYPICAL BUILDING SIGN**

- **SIZE** - 21.66 PL
- **SYSTEM** - 10" POLYURETHANE FOAM ON 4" CPW TRUSS JOIST
- **CLIPPING** - 100% R-11 CLIPPING WITH 1/2" POLYURETHANE FOAM
- **CLIPPING** - 100% R-11 CLIPPING WITH 1/2" POLYURETHANE FOAM
- **CLIPPING** - 100% R-11 CLIPPING WITH 1/2" POLYURETHANE FOAM

SHEET NO.	DRAWING NAME	DESCRIPTION
1	T-1	TITLE SHEET
2	S-1	EXISTING SITE/GRADING PLAN
3	S-2	PROPOSED SITE PLAN
4	S-3	UTILITY PLAN
5	S-4	GRADING PLAN
6	S-5	LANDSCAPING PLAN
7	S-6	LIGHTING PLAN
8	S-7	STORMWATER DETAILS
9	S-8	EROSION & SEDIMENT CONTROL PLAN
10	S-9	TRUCK CIRCULATION PLAN
11	S-10	MISCELLANEOUS DETAILS
12	S-11	MISCELLANEOUS DETAILS
13	S-12	MISCELLANEOUS DETAILS
14	S-13	MISCELLANEOUS DETAILS



PROPOSED FREESTANDING SIGN

- [illegible]

# 108 FLOWER AVE EAST REZONE APPLICATION





PHOTOS OF  
CONSTRUCTED STORE  
(CITY OF SCHENECTADY)



108 FLOWER AVE EAST  
REZONE APPLICATION



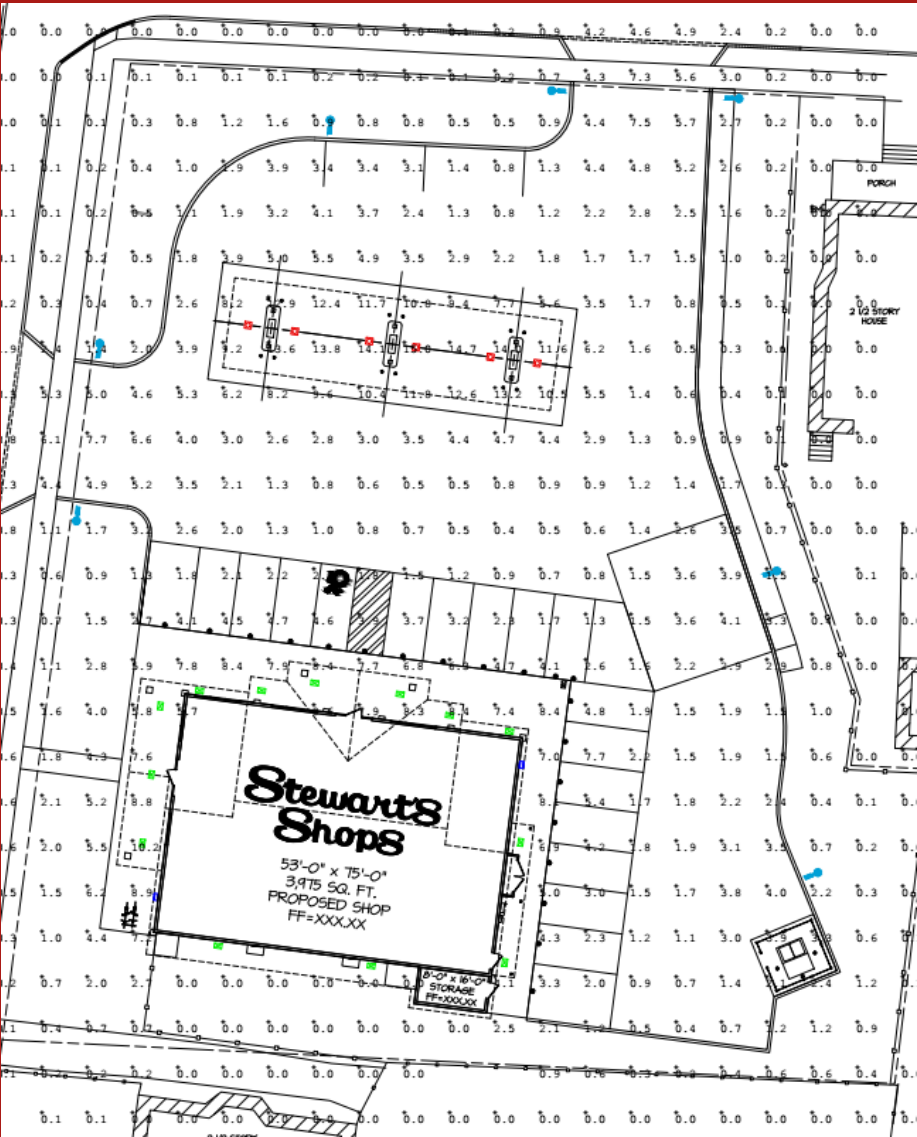
PLANT LIST

	ABRV	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	SPACING
PERENNIALS	HS	HEHEROCALLIS 'STELLA DE ORO'	DAYLILY - STELLA DE ORO	84	2 GAL.	AS SHOWN
	RF	RUDEBECKIA FULGIDA	BLACK-EYED SUSAN	36	2 GAL.	AS SHOWN
	FP	PENISETUM FIOLET	GRASS - FIOLET FOUNTAIN	14	2 GAL.	AS SHOWN
	SN	SALVIA NEMOROSA 'MAYNIGHT'	SALVIA - MAY NIGHT	30	2 GAL.	AS SHOWN
	AS	ASTILBE X ARENDSEI 'GRANAT'	GRANAT ASTILBE	31	2 GAL.	AS SHOWN
SHRUBS	OH	HYDRANGEA QUERCIFOLIA 'BRIDO'	SNOWFLAKE OAKLEAF HYDRANGEA	2	14"-18"	AS SHOWN
	SG	SPIRAEA GOLDMOUND	GOLDMOUND SPIREA	36	14"-18"	AS SHOWN
TREES	PA	PICEA ABIES	NORWAY SPRUCE	6	6'	AS SHOWN
	AR	ACER RUBRUM	RED MAPLE	11	4' GAL.	AS SHOWN

# PROPOSED LANDSCAPE PLAN AND PLANTING SCHEDULE

# 108 FLOWER AVE EAST REZONE APPLICATION





Calculation Summary				
Label	Units	Avg	Max	Min
ENTIRE SITE	Fc	1.94	26.8	0.0
CANOPY	Fc	18.04	26.8	3.6
PARKING LOT	Fc	2.65	11.3	0.0
SIDEWALKS	Fc	1.71	11.1	3.4

Luminaire Schedule						
Symbol	Qty	Label	Arrangement	LLF	Description	Comments
	13	SFT-228-5M-RM-03-E-UL-WH-525	SINGLE	1.000	SOFFIT LIGHT, 30 WHITE LED, 525mA DRIVER, RECESSED MOUNT	
	2	SEC-ED6-3M-WH-04-E-UL-WH-525	SINGLE	1.000	SECURITY LIGHT, 40 WHITE LED, 525mA DRIVER, WALL MOUNTED	
	6	CAN-304-P5-R5-04-E-UL-WH-525	SINGLE	1.000	CANOPY LIGHT, 40 WHITE LED, 525mA DRIVER, RECESSED MOUNT	SPECIAL ORDER
	6	ARE-ED6-3MB-DA-06-E-UL-BZ-100	SINGLE	1.000	POLE LIGHT, 60 WHITE LED, BACK SHIELDED, 100mA DRIVER, DIRECT ARM MOUNT	
	0	ARE-ED6-3M-DA-06-E-UL-BZ-100	SINGLE	1.000	POLE LIGHT, 60 WHITE LED, 100mA DRIVER, DIRECT ARM MOUNT	

# PROPOSED PHOTOMETRIC PLAN AND FIXTURE SCHEDULE



108 FLOWER AVE EAST  
REZONE APPLICATION

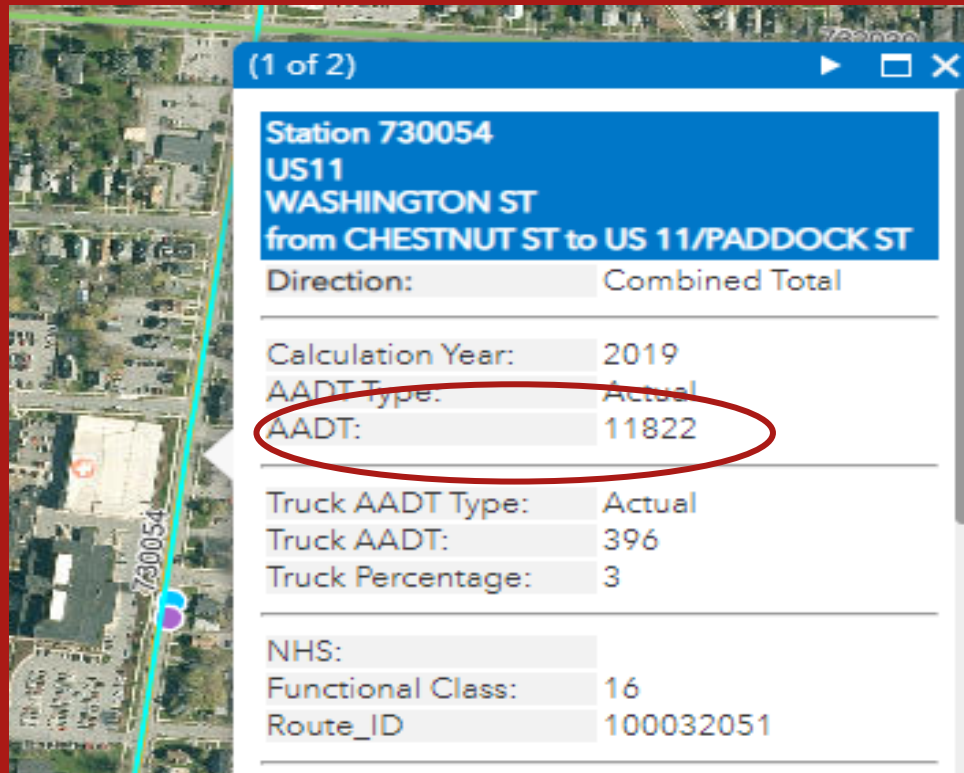
USE SWITCH TO  
PREVENT LIGHT IMPACT  
ON NEIGHBOR



**Table 1 Stewart's Trip Generation (Peak Hour Trips)**

Proposed Site Use	Trip Type	AM Peak Hour			PM Peak Hour		
		Enter	Exit	Total	Enter	Exit	Total
Stewart's Shops: Convenience Mart - 3,975 SF & Fueling Positions -6	Total	81	81	162	98	98	196
	Pass-By	-51	-51	-102	-61	-61	-122
	Primary	30	30	60	37	37	74

# TRAFFIC CONSIDERATION OF PROPOSED STEWART'S SHOP



2011 and 2019 Washington Street Traffic Volume and Potential Stewart's Impact				
Washington Street Two-Way Traffic Hourly Volume	Hourly Count	Percentage of Total	2019 Value	
Two Way Traffic 12AM - 1AM	64	0.46%	54	
Two Way Traffic 1AM - 2AM	39	0.28%	33	
Two Way Traffic 2AM - 3AM	37	0.26%	31	
Two Way Traffic 3AM - 4AM	48	0.34%	41	
Two Way Traffic 4AM - 5AM	58	0.41%	49	
Two Way Traffic 5AM - 6AM	166	1.19%	140	From Traffic Study 60 Trip Impact AM Percentage
Two Way Traffic 6AM - 7AM	409	2.92%	345	
Two Way Traffic 7AM - 8AM	888	6.34%	750	
Two Way Traffic 8AM - 9AM	905	6.46%	764	
Two Way Traffic 9AM - 10AM	878	6.27%	741	From Traffic Study 74 Trip PM Percentage
Two Way Traffic 10AM - 11AM	868	6.20%	733	
Two Way Traffic 11AM - 12PM	1025	7.32%	866	
Two Way Traffic 12PM - 1PM	1026	7.33%	866	
Two Way Traffic 1PM - 2PM	979	6.98%	827	From Traffic Study 74 Trip PM Percentage
Two Way Traffic 2PM - 3PM	1125	8.04%	950	
Two Way Traffic 3PM - 4PM	1163	8.31%	982	
Two Way Traffic 4PM - 5PM	1159	8.28%	979	
Two Way Traffic 5PM - 6PM	981	7.01%	828	
Two Way Traffic 6PM - 7PM	729	5.21%	616	
Two Way Traffic 7PM - 8PM	515	3.68%	435	
Two Way Traffic 8PM - 9PM	418	2.99%	353	
Two Way Traffic 9PM - 10PM	244	1.74%	206	
Two Way Traffic 10PM - 11PM	149	1.06%	126	
Two Way Traffic 11PM - 12AM	126	0.90%	106	
Two Way Daily Total	13999	100.00%	11,822	

108 FLOWER AVE EAST  
REZONE APPLICATION



# CURRENT VIEW LOOKING SOUTHEAST



108 FLOWER AVE EAST  
REZONE APPLICATION

# PROPOSED VIEW LOOKING SOUTHEAST



108 FLOWER AVE EAST  
REZONE APPLICATION

## CURRENT VIEW LOOKING SOUTHWEST



108 FLOWER AVE EAST  
REZONE APPLICATION



# PROPOSED VIEW LOOKING SOUTHEAST



108 FLOWER AVE EAST  
REZONE APPLICATION



## CURRENT VIEW LOOKING NORTHEAST



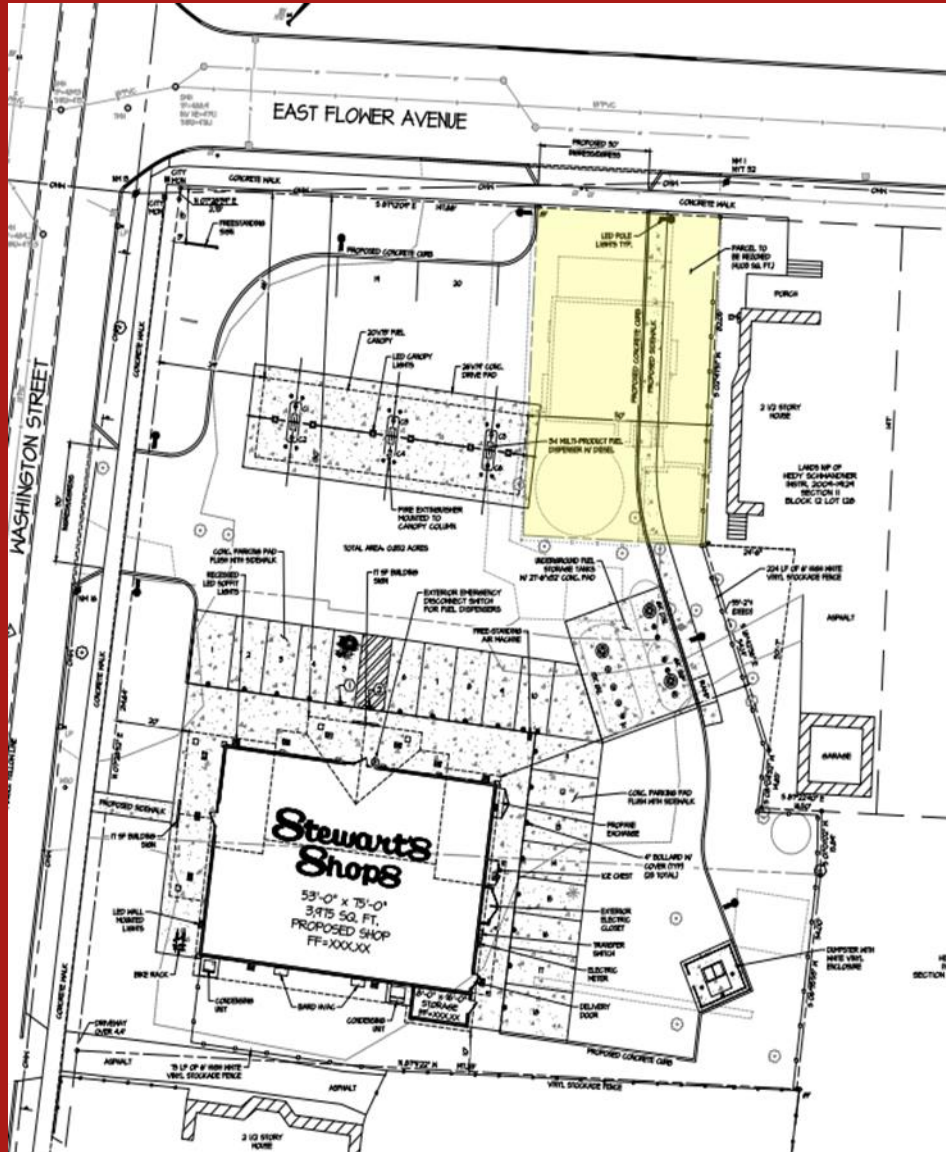
108 FLOWER AVE EAST  
REZONE APPLICATION





108 FLOWER AVE EAST  
REZONE APPLICATION





THANK YOU.

QUESTIONS?

108 FLOWER AVE EAST  
REZONE APPLICATION





February 28, 2022

Honorable Jeffrey M. Smith, Mayor  
City of Watertown  
245 Washington St.  
Watertown, New York 13601

Mayor Smith and Members of the Watertown City Council,

After the latest submission to the City Council on February 8<sup>th</sup>, Stewart's held a neighborhood forum on February 15<sup>th</sup>. Many of the items that were raised at the forum on the 15<sup>th</sup> were items that would be covered during the Site Plan review by the Planning Board and the Special Use Permit consideration by the City Council. The specific items Stewart's was asked to provide and have analyzed were:

1. A truck routing plan showing the fuel delivery and refuse pickup without vehicles utilizing Flower Ave East (attached), and;
2. A transaction history of the existing Washington Street store along with surrounding stores in Great Bend, Black River and the existing Stewart's on Mill Street.

As was discussed at the forum, the anticipated traffic is based off the square footage of gross floor area by location and a measured value determined by the Institute for Transportation Engineer (ITE) manual. A highlight from the CHA memo is pasted below and shows that in all instances, the existing Washington St store along with those requested from the forum operate below the expectations from the ITE manual (Store #428 is Black River).

Store	Size (sqf)	Predicted (am/pm)	Actual (am/pm)	Net Change
113 Washington St	2009	82 / 99	70 / 51	-12 / -48
436 - Mill Street	3266	133 / 161	42 / 92	-91 / -69
437 - Great Bend	3308	134 / 163	65 / 79	-69 / -84
Store #428	3563	145 / 176	78 / 85	-67 / -91

Traffic was also discussed as it related to pedestrian accommodations through the project corridor. Currently, there is no crosswalk at Washington and Flower and closest signalized intersection is at Paddock/Winslow (0.1 miles) to the north and Chestnut/Thompson (0.4miles) to the south. There is an unsignalized crosswalk at Haley and Samaritan; CHA has included a map of these crosswalks in comparison to the proposed location. The revised Plan and Site memo indicates the increased number of homes reached by the relocation and these homes can be the beneficiary of pedestrian accommodations.

What has not been discussed is the proposed economic implications of the proposed relocation. Currently, the vacant parcels and the house at 108 Flower Ave East generate a property tax revenue to the City of \$5,432.39 and the existing Stewart's on Mill St generates a property tax revenue of \$13,986.64, an estimated annual difference of \$8,644.25. Property tax is not the only anticipated revenue increase estimated by the project as Stewart's will anticipate an increase in its business and subsequent increase in the hours worked to support the store. The estimated net change from the current annual payroll to the anticipated annual payroll is \$61,776; this does not include a multiplier on the payroll dollars or the sales tax revenue changes.

Finally, understanding that there is often a silent support for projects of this nature; Stewart's received over 200 signatures on a petition placed in the existing store. This support comes from both residents of Watertown and those that frequent the store understanding the proposed location provides a more sustainable location into the future.

Stewart's appreciates the opportunity to present this and any additional information the Council may find relevant at their earliest convenience. If there are any questions, please feel free to reach me at (518) 269-0664.

Respectfully,

Chuck

Charles "Chuck" Marshall  
Stewart's Shops Corp.

Attachments:

CHA Project Memo dated February 25, 2022  
Plan and Site Memo dated February 2022  
Stewart's Anticipated Economic Implications  
Stewart's Truck Routing and Refuse Pickup





## Zoning Change Request 108 Flower Avenue East Stewart's Shops

February 2022

Prepared by Sophia Marruso, AICP, CPESC

### Summary of Request

The applicant, Stewart's Shops, is requesting a zoning change for the parcel at 108 Flower Avenue East, near the intersection of Washington Street and Flower Avenue East. The existing zoning designation of this parcel is Residence B and is non-conforming in lot size and width. The requested zoning change proposes modifying the zoning of this parcel to Neighborhood Business, which would create uniform zoning for the proposed project site. With the City Council's approval of the zoning change request, special use permit for gasoline sales, and site plan approval, Stewart's Shops proposes the relocation of Shop # 113 at 1226 Washington Street to a new 3,975 square foot store with fueling stations at 703 Washington Street, the corner lot at the intersection of Washington Street and Flower Avenue East.



108 Flower Avenue East  
Tax ID: 11-12-127.000

### Zoning Status and Parcel Information

In the current condition, the majority of the project area complies with the zoning

requirements for retail with gasoline sales use. The total proposed project area consists of .86 acres; three parcels totaling .76 acres in area are zoned Neighborhood Business. The fourth parcel at 108 Flower Ave East is .1 acre in area and is zoned Residence B. In its existing condition, this parcel is non-conforming in lot size, lot width, and potentially front yard setback and maximum building coverage. The applicant is seeking to amend the zoning designation of the subject parcel to Neighborhood Business for consistency of project zoning and incorporation of the subject parcel into the project area. The zoning change request affects less than 12% (11.6%) of the proposed project area. Upon approval of the requested zoning change, the .1-acre subject parcel may be included in the site plan, supporting the placement of drive aisle access, landscaping and buffering. Lots shall be combined upon approval and with the approval of the zoning change request, the zoning designation for the site will be uniform and will rectify existing zoning nonconformities.



Location of the northern access within this parcel provides adequate separation from the intersection, improving the safety of pedestrians and traffic conditions at this site. Presently, there are two other active shop locations within the City. Stewart's Shop #433 at 229 North Massey Street is .71 acres and Stewart's Shop #436 at 508 Mill Street is .625 acres. The new proposed location is slightly larger in lot area and is appropriately scaled to support the access needs for the site and proper mitigation measures to the adjacent residential uses.

### Community and Neighborhood Benefits

The development opportunity afforded by approval of the aforementioned requests for zoning change and special use permit will provide ample benefits to the immediate neighborhood and the City of Watertown as a whole. Conversion of the vacant corner lot to an active neighborhood shop improves the community character, provides natural surveillance and territorial reinforcement which enhances sense of safety and security for community members, and can help deter criminal activity.<sup>1</sup>





Relocation of the Stewart's Shop from 1226 Washington Street to 703 Washington Street improves the access of goods and amenities for notably denser multi-family residential population. Using the property class data available through the City of Watertown GIS mapper, the land use composition of the neighborhoods surrounding the existing shop and proposed shop locations were evaluated at a quarter mile and half mile radii.

At the 1/4 mile boundary, the new proposed shop location is substantially more accessible to a higher density of residents living within multi-family residential housing. As shown in the

Neighborhood Composition				
Property Class	¼ (Quarter) Mile Radius (# of Parcels)		½ (Half) Mile Radius (# of Parcels)	
	Existing Shop	Proposed Shop	Existing Shop	Proposed Shop
Single-Family Residence	218	201	788	903
Two-Family Residence	10	69	47	192
Three-Family	3	19	11	66
Apartment/ Group Residential	3	19	6	80
Commercial/ Professional	11	7	15	36
Small Business/ Converted Residential	6	12	10	29
Medical	0	5	4	5
Civic	2	2	6	21

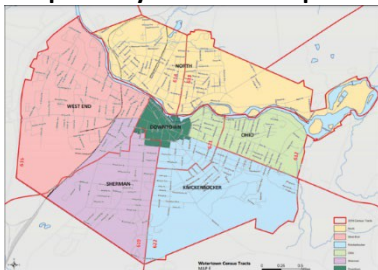
adjacent table, the new location could serve nearly 6 times more two-family residences, 5 times more three-family residences, 5 times more apartment / group residence buildings, and twice as many small business / converted residential properties.

Additionally, the Samaritan Medical Center and associated medical services will be entirely located within the 1/4 mile radius of the proposed location. Note that while the existing shop location serves a slightly higher number of single-family residences, commercial/professional properties and an equal number of civic sites within its 1/4 mile radius, comparison of the 1/2 mile radius counts between the two locations shows that the proposed shop

location serves a greater number of properties of all property classes- including substantial areas of two- and three-family residences, apartments, commercial and professional, and civic properties. Ultimately, the suite of active commercial, professional, and medical uses near the proposed site and the vastly higher density of multi-family residential development is compatible with, and benefits from, an active Stewart's Shop at this location.

The new proposed shop has been designed in accordance with the applicable zoning and bulk requirements of the Neighborhood Business district and has striven for full conformance to these regulations. At the site plan level, the shop would provide accompanying streetscape improvements, including street tree plantings along Washington Street and Flower Avenue East, landscaping and planting areas, and appropriately-scaled street and pedestrian lighting. These environmental and aesthetic enhancements will bring added value to this highly-visible location.

### Compatibility with the Comprehensive Plan



The proposed zoning change request and development of a new Stewart's Shop addresses several elements of Watertown's vision for the City as established within the Comprehensive Plan, particularly economic development and sustainability and resiliency. The key industries identified as drivers of Watertown's economy are healthcare and social services, retail trade, and accommodations and food service<sup>ii</sup>. The Comprehensive Plan establishes, "...as a regional destination, the City should reinforce existing strengths and markets. It should also support the growth of key industries, including by attracting new businesses, employees, and potential consumers to

Watertown"<sup>iii</sup>. Relocation and expansion of the store supports opportunities for employment and generation of tax revenue (sales and property), which are in direct alignment with the aforementioned Comprehensive Plan recommendation.

Additionally, the City's Comprehensive Plan identifies opportunity to improve access to food and goods within the Downtown and adjacent neighborhoods. The plan states, "... while there are grocery stores at the edges of the city, there are none within walking distance to Downtown or the neighborhoods immediately adjacent", noting that coordination with neighborhoods, non-profits and private sector should be taken to evaluate food access within these neighborhoods<sup>iv</sup>. The proposed shop location is on the western edge of the Knickerbocker neighborhood and to the east of the Sherman neighborhood. The southernmost area of the Downtown neighborhood falls within the 1/2 mile radius boundary established for the new location, further validating that the new shop location will be advantageous to residents of various means and improving accessibility of goods and services to City residents.

Pursuant to its sustainability and resiliency goals, the City of Watertown has stated that it, “.... aims to be a community with clean air, land, and water...greenhouse gas (GHG) emissions and global climate change pose an ongoing challenge to this goal, especially for already vulnerable populations. Local climate action planning is a proactive way to address this challenge.”<sup>v</sup>. Providing residents services and amenities within a walkable distance can decrease vehicular use, lower local emissions, and reduce ambient noise<sup>vi</sup>, all of which respond to the City’s call for improved sustainability and resilience. In accordance with the recommendation issued by the Planning and Community Development Director (Memorandum, 9/30/21) and the planning and zoning compliance assessment provided herein, the applicant is hopeful that the requested zone change may be found to be in harmony with the Comprehensive Plan.

## Conclusion

The request for the zoning change of the subject parcel and special use permit at 108 Flower Avenue East is minor in nature, affords an opportunity to rectify pre-existing nonconforming parcel conditions, supports vibrant redevelopment of a vacant corner lot at a visible local intersection, increases accessibility of goods and services to a greater residential population and commercial area- all of which collectively align with key goals and recommendations defined within the City of Watertown’s Comprehensive Plan and contribute to the improvement of this active neighborhood.

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<sup>v</sup>Crime Prevention Through Environmental Design Guidebook, National Crime Prevention Council of Singapore

<sup>vi</sup>City of Watertown Comprehensive Plan, 2019. Page 49.

<sup>vii</sup>City of Watertown Comprehensive Plan, 2019. Page 50.

<sup>viii</sup>City of Watertown Comprehensive Plan, 2019. Page 54.

<sup>ix</sup>City of Watertown Comprehensive Plan, 2019. Page 55.

<sup>x</sup>“Ten environmental benefits of walkable places”, by Robert Steutville, Congress for New Urbanism. 31 Aug 2021. <https://www.cnu.org/publicsquare/2021/08/31/ten-environmental-benefits-walkable-places>



February 25, 2022

Chuck Marshall  
Land Development/Permitting  
Stewart's Shops Corp.  
2907 State Route 9  
Ballston Spa, New York, 12020

**RE: Project Memo: Trip Generation Calibration and Pedestrian Crossing Options  
Stewart's Shops – Washington Street/Flower Avenue Site, Watertown, NY**

Based on input received during the Public Information Meeting held on February 15, 2022, we have developed this memo to further refine the anticipated trip generation characteristics and pedestrian crossing options related to the proposed store.

#### TRIP GENERATION CALIBRATION

##### **Background:**

As shown in the initial Trip Generation Assessment, anticipated vehicle usage was calculated using The Institute of Transportation Engineers (ITE) *Trip Generation Manual*, using industry-standard guidelines to estimate the number of vehicular trips based upon the square footage of a proposed facility for a particular use.

##### **Trip Generation Refinement:**

As requested at the public information meeting, Stewart's has collected actual usage data from similar and nearby Stewart's Shops in order to further refine the traffic estimates. Using actual customer visit numbers for similar stores allows the ITE calculations to be calibrated to localized conditions and not rely solely on general industry standards.

For example, a "Convenience Market with Gas Pumps" of 2,009 square feet would expect a predicted peak usage of 82 vehicles in the morning peak hour and 99 vehicles in the afternoon peak hour using the standard ITE guidelines. However, the existing Stewart's Shop store at 113 Washington Street (2,009 sqf) seen an actual customer peak of 70 visits during the morning peak and 51 visits during the afternoon peak, as shown in the sales data:

1226 Washington St			2,009
HOUR	INSIDE	Pay @ Pump	TOTAL
04	5	3	8
05	10	2	12
06	39	5	44
07	67	3	70
08	48	12	60
09	48	8	56
10	36	5	41
11	57	7	64
12	49	3	52
13	46	5	51

1226 Washington St			2,009
HOUR	INSIDE	Pay @ Pump	TOTAL
14	38	6	44
15	41	10	51
16	36	6	42
17	36	7	43
18	28	9	37
19	35	3	38
20	25	5	30
21	9	1	10
22	12	1	13
23	6	0	6

Similar usage patterns were calculated using other nearby Stewart's Shops stores of comparable sizes:

Store	Size (sqf)	Predicted (am/pm)	Actual (am/pm)	Net Change
113 Washington St	2009	82 / 99	70 / 51	-12 / -48
436 - Mill Street	3266	133 / 161	42 / 92	-91 / -69
437 - Great Bend	3308	134 / 163	65 / 79	-69 / -84
Store #428	3563	145 / 176	78 / 85	-67 / -91

In each case, Stewart's Shops actual trips trend below the ITE guideline predictions.

Based on the actual customer visitation numbers, the stores average a morning peak of 0.022 visits per square foot and an afternoon peak of 0.025 visitors per square foot of store area. Using these averages of similar stores, the proposed shop with 3,975 sqf would likely experience a morning peak of 89 visits and an afternoon peak of 101 visits (replacing the initial estimates of 162 visits and 196 visits, respectively). The refined trip estimates would result in no change to the existing Level-of-Service along Washington and Flower Streets.

### PEDESTRIAN CROSSING OPTIONS

#### **Existing Conditions:**

In the project vicinity, signalized pedestrian crosswalks are currently located at the intersection of Paddock Street / Winslow Street (0.1 miles north of the proposed store) and Thompson Blvd / Chestnut Street (0.4 miles south). An unsignalized crosswalk can be found at the Haley Street / Samaritan Medical Center (0.2 miles south).



### **Crosswalk Options:**

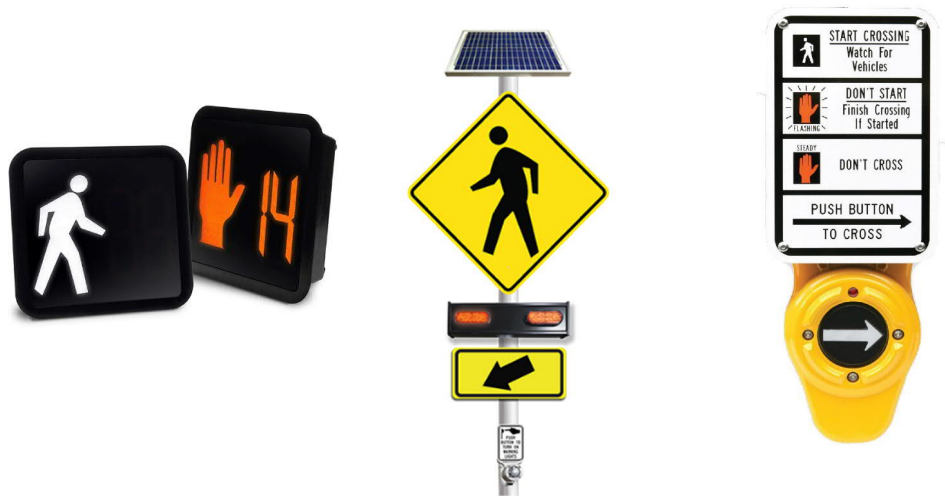
#### *Null / None:*

With the closest existing crosswalk approximately 0.1 miles north of the proposed store, pedestrians coming from the north are fully accommodated. In addition, this crosswalk is less than a 2-minute walk from the store location.

From the south, pedestrians can cross using the unsignalized crossing at Haley / Samaritan, less than a 4-minute walk from the proposed store location.

#### *New Pedestrian Signal at Washington / Flower:*

A pedestrian-activated crosswalk signal could be installed nearby the proposed site, using NYSDOT standard crosswalks and Rectangular-Rapid-Flashing-Beacon (RRFB) sign assemblies.



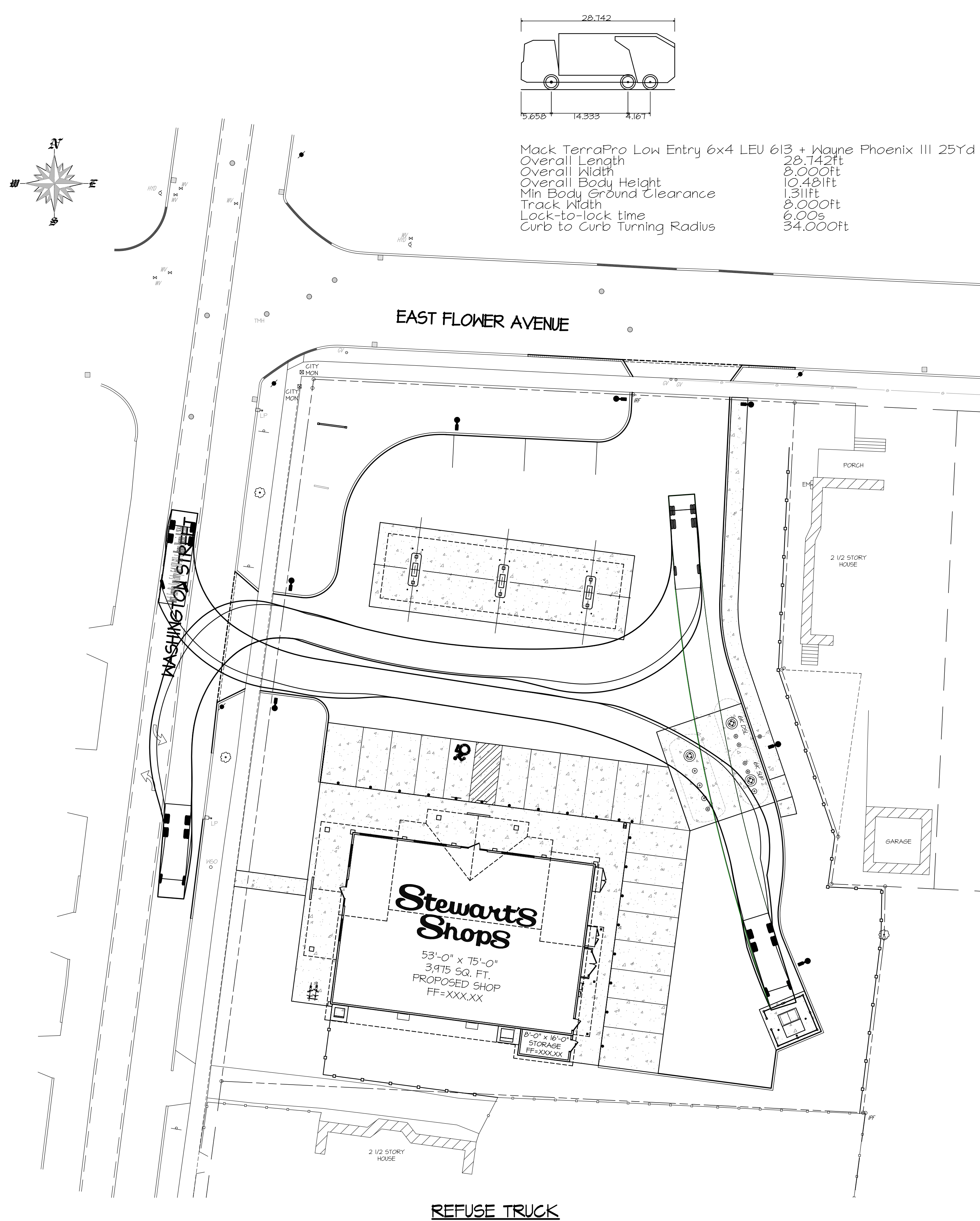
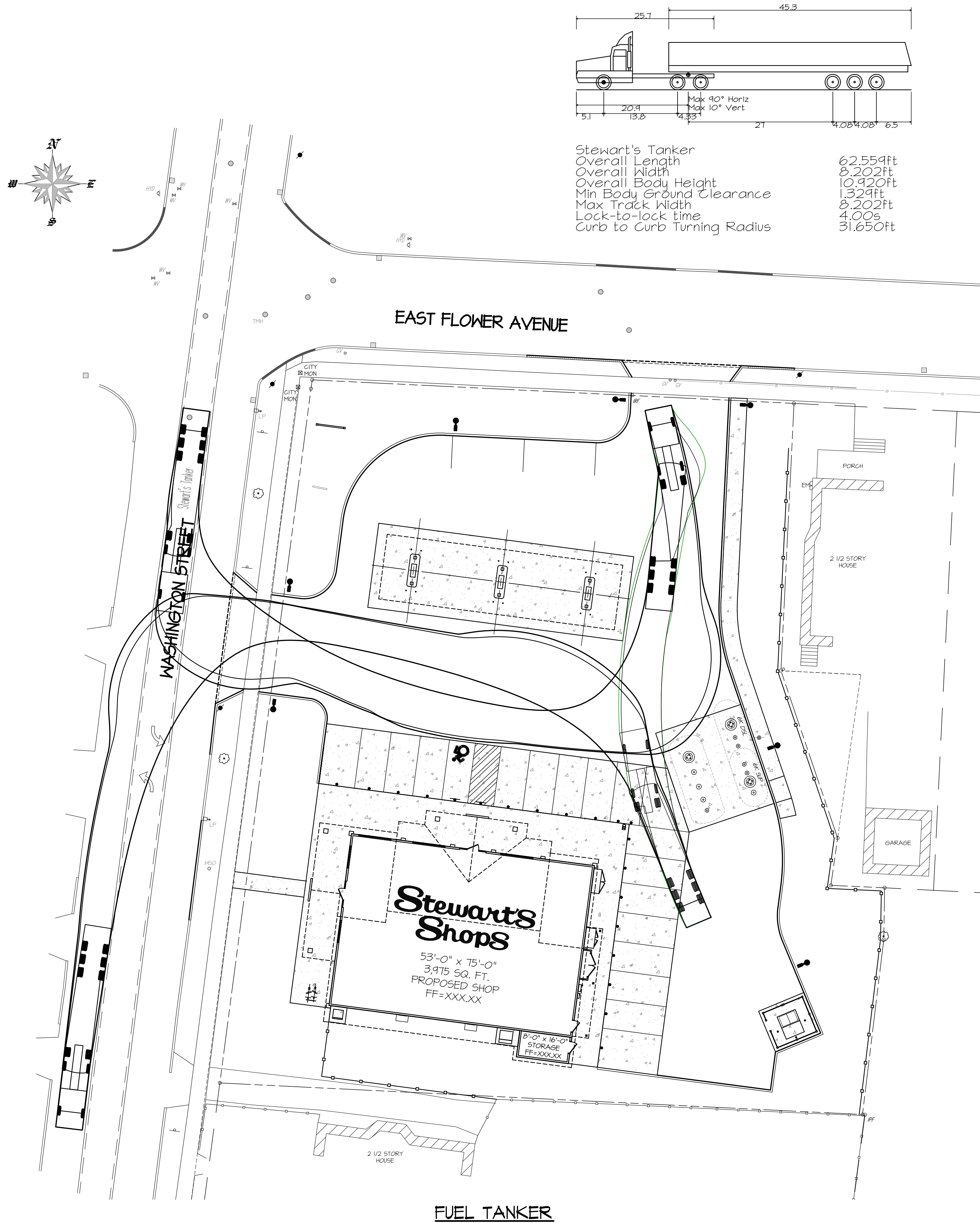
This option would present some vehicular delays (when the crossing is activated). Care would need to be taken regarding proper placement, equipment, and visibility.


If any of these options are requested, or if you need additional information, please feel free to contact me.


Sincerely,

Luke Morenus, P.E.  
Sr. Project Manager  
lmorenus@chacompanies.com

Economic Implications of Proposed Washington Street Stewart's Relocation						
Current Taxes Washington and East Flower Ave						
Address	SBL	Assessment (FMV)	City Tax	School	County	Total
108 Flower Ave E	11-12-127.000	\$134,565.00	\$1,107.39	\$1,363.79	\$998.85	\$3,470.03
703 Washington St	11-12-126.000	\$31,957.00	\$262.98	\$323.87	\$237.21	\$824.06
707 Washington St	11-12-125.000	\$21,413.00	\$176.22	\$217.01	\$158.94	\$552.17
715 Washington St	11-12-124.000	\$19,239.00	\$158.33	\$194.99	\$142.81	\$496.13
		\$207,174.00	\$1,704.92	\$2,099.66	\$1,537.81	\$5,342.39
508 Mill St - Taxes						Total
508 Mill St	3-03-406.100	\$542,391.00	\$4,463.56	\$5,497.03	\$4,026.05	\$13,986.64
				Estimated Property Tax Difference		\$8,644.25
Payroll Dollars and Hours						
Average Employee Hours	270	Average Weekly Payroll		\$5,940	Annual Payroll	\$308,880
Estimated Weekly Hours	324	Estimated Weekly Payroll		\$7,128	Estimated Payroll	\$370,656
Difference in Weekly Hours	54	Difference in Weekly Payroll		\$1,188	Difference in Annual Payroll	\$61,776



	STORE NAME, ABBREVIATION & NO.		WASHINGTON STREET - WSHX - 113	
	SITE LOCATION			
	WASHINGTON STREET & EAST FLOWER AVE - WATERTOWN, NY 13601			
	DATE	NO.	REVISIONS	
ALTERATIONS TO THIS DOCUMENT BY OTHER THAN AN AUTHORIZED LICENSED PROFESSIONAL ENGINEER IS ILLEGAL AND A VIOLATION OF THE NEW YORK STATE EDUCATION LAW		DRAWING NO.		
		S-9		
TITLE:		TRUCK ROUTING PLAN		



SARATOGA SPRINGS, NY 12866  
TEL: (518) 581-1200 FAX: (518) 581-1209

DRAWN BY: CP  
SCALE: 1" = 20'  
DATE: 9/3/21

**CURRENT LOCATION**  
1226 Washington St.

**PROPOSED LOCATION**  
108 Flower Ave. East


## WE WANT TO PROVIDE BETTER SERVICES FOR YOU!

We, the undersigned, urge the City of Watertown to grant any necessary approvals to allow this relocation to occur.

FULL NAME	ADDRESS	EMAIL ADDRESS*	SIGNATURE
Shane Woolledge	1708 Ohio Street Apt 87 Watertown	N: +denmonfox91@gmail.com	[Signature]
Peggy Berry	22489 Colonial Manor Rd Watertown	indigo1250 @icloud.com	[Signature]
Jackie Pettit	1020 Academe Wtn NY	jaq-21arr@yahoo.com	[Signature]
David Warner	205 Chestnut St Wtn NY	Warnerdavid1990@yahoo.com	[Signature]
Wayne Lark	1017 Washington St	WITNEY-SCHROEDER @AOL	[Signature]
Teshla Freeman	22447 Echo Dr Watertown NY	lockelowy@yahoo.com	[Signature]
Kody Typhor	Watertown NY		[Signature]
Lacey Ibese	Watertown NY		[Signature]
Amiah Moore	Watertown NY		[Signature]
Phillip Gavin	530 APT 2 East Flower Ave	snorker40422@gmail.com	Phil M. Cronin
[Signature]	<del>1017 Washington St</del>	C OXLEYMAN@gmail.com	[Signature]
Kyle Thorne	118 Elm Street Watertown	kyjull@yahoo.com	[Signature]
Jose Timoreau	463 S. MARLOW ST		[Signature]
Kim Jackson	714 Myrtle Ave Watertown		Kim Jackson
Ben Field	2516 Alexandra Meadow	fieldbr194@gmail.com	[Signature]
Erika Lloyd	532 Davidson St. Watertown, NY 13601	ellloyd0826@gmail.com	Erika Lloyd
Steven Lloyd	532 Davidson St Wtn NY 13601		Steven Lloyd

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FULL NAME	ADDRESS	EMAIL ADDRESS*	SIGNATURE
Pheral Forkell	341 Sterling apt 3 13601	Zachuandgene1991	[Signature]
Barbara Kiblin	15681 arden Rd Copenhagen	BarbaraKiblin83@gmail.com	[Signature]
Robert Dutton	331 TENNYCK ST		[Signature]
Riley Keenan	345 Winston St Watertown NY		[Signature]
Sean Ryan	441 Broadway Ave E		[Signature]
W. Backus	6 Madison Ave		[Signature]
T. Probra	418 Thomas		[Signature]
Thomas Kunkin	653 Leray		[Signature]
Zachary Stopp	178 Weld		[Signature]
Mad Hall	1020 Waverly St		
John Bahr	P.O. Box 236 Watn.		[Signature]
Kady Marteliz	943 Remington St	Kadylms@gmail.com	[Signature]
Deb Brown	17481 US Rt 11 Watertown NY	deb.brown@LASMONY.org	[Signature]
RAY JOHN	545 WEST ST		[Signature]
Jayne McNeely	Sandy Creek Valley Rd Watertown		[Signature]
Tommy Vance			[Signature]
Mary Jo Rogers			[Signature]

\* Any email correspondence from Stewart's will pertain to this proposed project, not for marketing purposes

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FULL NAME	ADDRESS	EMAIL ADDRESS*	SIGNATURE
Jeff Link	267 Wend		
Beth			
Bill Lloyd	194 Cop		
Brandon Moore	931 Ives Apt 2	Eazydude91@gmail	
Theresa Weldon			
Kelly DeVoe	228 Barber Ave	—	
Kimberly Marsile	331 S Hamilton	—	
Megan Weller	317 W Irasquo St	—	
Darcy Burns	N. Ct.	—	
Clara Burns	Ad Ct	—	
Con/Vergette	Sherman & Mullin	—	
Keira Crachet	Evans Mills	—	
Angela Clink	617 Boyl St	—	
Pam Warriger	268 Barber	—	
Malony Drake	430 East Ave	—	
Kim Sorenson	2562 Alexandra Mews		
Dan	Evans Mills		

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FULL NAME	ADDRESS	EMAIL ADDRESS*	SIGNATURE
Rose Hurst	1017 Washington St Watertown NY 13601		<i>Rose Hurst</i>
Candy Smith	537 Davidson St Watertown NY 13601		<i>Candy Smith</i>
Sherry McCabe	Sherman St		<i>Sherry McCabe</i>
Chris & Joe Helmer	Redwood, NY		<i>Chris Helmer</i>
Bernard Dickm	410 FAG		<i>Bernard Dickm</i>
Gary Dellinges	335 Stone St		<i>Gary Dellinges</i>
PATRICK HENRY	524 Holcomb ST.		<i>Patrick Henry</i>
Brian W/ctm			
L. RASIKOVSKYS	708 Washington		<i>L. Rasikovskys</i>
Will Rader	914 Myrtle Ave		<i>Will Rader</i>
Memory Berry	451 Flower Ave E		<i>Memory Berry</i>
Ken Berry	45 Flower Ave E		<i>Ken Berry</i>
Mark Hatcher	633 Bronson		<i>Mark Hatcher</i>
David Gould	11348 Middle Rd Dexter	dougould@gmail	<i>David Gould</i>
Paul. Sowers	21766 Reed Rd.		<i>Paul Sowers</i>
Diego A Aguilar	24573 Porter rd		<i>Diego Aguilar</i>
Harlyn Eisenman	214 Winslow St		<i>Harlyn Eisenman</i>

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FULL NAME	ADDRESS	EMAIL ADDRESS*	SIGNATURE
Greg McDermott	28451 Perch Lake Rd		
Joshua Sacco	1309 Ives		
Sue Funnay	Eddy Rd		
Mark Bartlett	507 Church St		
Meagan Hunt	635 W Prospect		
Ginny Garcia	Watertown		
Max Bosler	Wt. town		
Erica Rayome	Watertown		
Mary Baker	Carthage		
Justin Battles	Watertown		
Christopher Battles	2458 Lafae		
Kevin Simpson	Adams		
Robert Snell	234 Chestnut St Watertown		
Ethan Grimm	Watertown		
Alec Binder	Watertown		
Shayne Brennan	Water town		
Jonah Stark	Watertown		

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FULL NAME	ADDRESS	EMAIL ADDRESS*	SIGNATURE
Brandi Eisenmann	214 Windsor St		
Nichole Brocker	157 Flower Ave W		
Kerry Morica	1029 Holcomb St.		
Lindsay Twiss	240 Ten Eyck St.		
David Valentin	Rodman		
Aaron Clemons	205 Mullin St		
Kelly Brown	16102 NYS Rte 120 Dexter 13634		
R. H. Fly	1731 Ives St		
Rock Fowler	127 Boon St		
Richard Hong	1130 Jewel Dr.		
A. Robertshaw	20830 Cagwin Rd.		
N. Fuller	401 Main Watertown		
Carri Paige	Carri Paige 218 Mullin		
Deborah L. Gillan	112 S. Indiana Ave.		
Peter Mabe	1332 MARET Dr.		
Eric Burnett			
Jessica Jackson	111 S. Hamilton St. Wt	jackson26@ ymail.com	

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FULL NAME	ADDRESS	EMAIL ADDRESS*	SIGNATURE
Perrin James			
April Davis	E main st Watn NY		
Dale Davis	E main st Watertown NY		
Karl Holman	269 Banker Ave		
Vann Colson	237 Sch 64		
ROBERT MOORE	325 PADDOCK		
Matt Looshan	811 Myrtle Ave	myoshan@yahoo.com	
Alicia Looshan	811 Myrtle Ave		
BOB HARTER	17747 RT 11-1D		
James P. O'Brien	BLACK RIVER		
TRAVIS PAGAN	315 FLOWER AVE W.		
Deborah O'Brien	16766 10th St		
Dyllen Main	220 Chestnut St		
John Freel	221 Paelden		
Deborah Beauregard	438 Dimmick St		
Michael Montgomery	315 Academy St		
JASON TROSS	240 TEN ELYCK		

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FULL NAME	ADDRESS	EMAIL ADDRESS*	SIGNATURE
Karen Dasno	1010 Washington	Kdasno1@yahoo.com	Karen Dasno
Omar Salazar	232 Haley Street	Omar.Salazar11041@gmail	Omar Salazar
Pam Kennedy	256 Center		Pam Kennedy
Ashley Clifford	451 Newman Dr.	acifford@hotmail.com	Ashley Clifford
Tracon Crabb	Foreman	—	Tracon Crabb
Brian Watson			Brian Watson
Cody Summers	137 Flower Ave W	—	Cody Summers
Sean Salas	117 Kieff St	shand01@gmail	Sean Salas
Robert Parks	340 East Flower	—	Robert Parks
C. Murray			C. Murray
Jacky Scott	1009 Hungerford	Sob238@hotmail.com	Jacky Scott
Sherry McCabe	1325 Sherman St	—	Sherry McCabe
Larkin Harvey	17043 US Rt. 11 Lot H7 Watertown, NY 13601	litalark@icloud.com	Larkin Harvey
Josh Hare	Balsam Ave	—	Josh Hare
Brian McConnel		honda2832@yahoo.com	Brian McConnel
Erin Fazio	17579 Switzer Rd. Wm		Erin Fazio
Jami Marges	5 Mossey St		Jami Marges

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FULL NAME	ADDRESS	EMAIL ADDRESS*	SIGNATURE
Trevi Miller	Watertown NY	tallenmil@yahoo.com	[Signature]
Andy Campbell	Watertown NY	Ron.medic@51@gmail	[Signature]
Cindy Bender	Watertown NY		Andy Bender
Karen Coppola	Watertown NY	Klcompidiote@hotmail	[Signature]
Patrick Vincent	town of Watertown NY	nicholapet@yahoo.com	[Signature]
ROSE BURNS	Watertown NY		[Signature]
Sherry Ely	Watertown, NY		Sherry Ely
Donna J. J. J.	Watertown NY		[Signature]
Devin Keegan	Watertown		[Signature]
Nicole DiStefano	Watertown NY	epixwife@gmail.com	[Signature]
Crystal Simon	Watertown NY	betterplace4u2022@gmail.com	[Signature]
MONICA ORTEGA	265 DOODOCK		[Signature]
Parvate Sima	Watertown NY		[Signature]
Amber Hurst	Mannsville NY		Amber Hurst
Travis Side	Watertown NY		Travis Side
Nicole Mustaine	Watertown, NY		[Signature]
CHORLEY	Watertown		[Signature]

\* Any email correspondence from Stewart's will pertain to this proposed project, not for marketing purposes

**CURRENT LOCATION**  
1226 Washington St.



**PROPOSED LOCATION**  
108 Flower Ave. East



## WE WANT TO PROVIDE BETTER SERVICES FOR YOU!

We, the undersigned, urge the City of Watertown to grant any necessary approvals to allow this relocation to occur.

FULL NAME	ADDRESS	EMAIL ADDRESS*	SIGNATURE
Kimberly Lawlor	352 S. Rutland St Watertown, NY	kimberly.lawlor@outlook.com	
Eric Moore	329 Thompson Blvd Watertown NY	puckstopper337@hotmail.com	
Barlow, Robert			
Dave Misso			
Bob Morger	517 Hamlin Watertown		
Jennifer Davis	301 S. Rutland St	jennmildavis@yahoo.com	
David Kay	376 HANNAH AVE PULASKI		
Justin Garcia	Watertown		
Eileen Valentin	Watertown		
Frank Solivan	Watertown		
Judy Christopher	Watertown		
Anna Raswe	Watertown		
Beth Hays	Watertown		
Dustin Loomis	Watertown		
Amber HUST	Watertown		
Hannah Tross	340 Ten Eyck St Watertown NY		

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**PROPOSED LOCATION**  
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FULL NAME	ADDRESS	EMAIL ADDRESS*	SIGNATURE
Brittany Schwartz	220 Chestnut St	BRARAS224@gmail.com	Brittany Schwartz
Kate Williams	309 Mill St	KatelynnWilliams	Kate Williams
Lisa Cantt	1480 Aspen Lane Watertown	1996@icloud.com	Lisa Cantt
Kimberly Drake	57A Water St. Watertown, NY 13151	Jamesn11@gmail.com	Kimberly Drake
Shontoria S.	6250 Scotch Pine Drive Rd	N/A	S. Smith
Kevin Gave	440 Flower Ave E.	N/A	Kevin Gave
Bree Montgomery	Watertown Center	N/A	Bree Montgomery
Ben Smith	1413 Bowers Ave	N/A	Ben Smith
Lisa Lincoln	143 Bowers	N/A	Lisa Lincoln
Kylan Thimbley	387 E Flower Ave	KylanThimbley@gmail.com	Kylan Thimbley
David Anderson	334 Keyes Ave	drakender31@gmail.com	David Anderson
<del>XXXXXXXXXX</del>			
Norm May Jr.	NO	NO	NO
C. Sweet	up top of Washington St	N/A	C. Sweet
Philip Rogers	W Teneyck St		Philip Rogers
Lydia Mack	299 Barber Ave	LDS196@gmail.com	Lydia Mack
Jason Rupert	147 Chestnut	N/A	Jason Rupert

\* Any email correspondence from Stewart's will pertain to this proposed project, not for marketing purposes

## WE ARE LOOKING TO INVEST IN YOUR COMMUNITY

**CURRENT LOCATION**  
1226 Washington St.



**PROPOSED LOCATION**  
108 Flower Ave. East

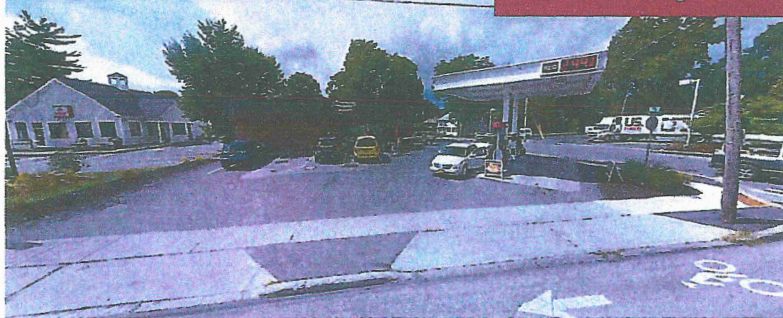


**WE WANT TO PROVIDE BETTER SERVICES FOR YOU!**

We, the undersigned, urge the City of Watertown to grant any necessary approvals to allow this relocation to occur.

[illegible]

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1226 Washington St.

**PROPOSED LOCATION**  
108 Flower Ave. East


## WE WANT TO PROVIDE BETTER SERVICES FOR YOU!

We, the undersigned, urge the City of Watertown to grant any necessary approvals to allow this relocation to occur.

FULL NAME	ADDRESS	EMAIL ADDRESS*	SIGNATURE
Erica Miller	336 Window St. Watertown	ernie.fizzle@gmail	Erica Miller
Daniel Tobin	205 Franklin St	tobind@yahoo.com	Daniel Tobin
Alison Clemas	205 Mullin St		Alison Clemas
Betty MacLachlan	280 E. Main St	BettyMac262@gmail.com	Betty MacLachlan
Josh Ratchan	Temple St		Josh Ratchan
Carrie Danquer	2516 Light Rd	cdanquer@yahoo.com	Carrie Danquer
Alyse Salmons	17481 US Rt 11 Col 3N	AlyseSalmons@gmail.com	Alyse Salmons
Marty Salmons	17481 US Rt 11	Marty315@gmail.com	Marty Salmons
Wayne Sohr	1017 Washington St. Watertown		Wayne Sohr
Kim Donegan	1367 Cornys Dr.	Kad1377@yahoo.com	Kim Donegan
Zach Matott	366 Broadway Ave W	joylet@hotmail.com	Zach Matott
Rich Sherry	1371 Sunset Ridge	richardsherry@mac.com	Rich Sherry
Patrick	131 Scio	patrickandmary2013@gmail.com	Patrick
Lori Klock	427 Harris Dr. Watertown		Lori Klock
Alycia Parsan			Alycia Parsan

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**CURRENT LOCATION**  
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**PROPOSED LOCATION**  
108 Flower Ave. East



**WE WANT TO PROVIDE BETTER SERVICES FOR YOU!**

We, the undersigned, urge the City of Watertown to grant any necessary approvals to allow this relocation to occur.

FULL NAME	ADDRESS	EMAIL ADDRESS*	SIGNATURE
Gervin C Friedrich	17747 US Rt 11 Lot 14P Watertown	gervin.friedrich@comcast.net	Gervin Friedrich
Christyan	20351 Carleton Rd	Adele Celis my	Chris B
mark folgers	1018 academy	mark.folgers@gmail.com	mark
William Harmke	712 Gotham St.	Harmke-William@yahoo.com	William Harmke
Donald W Mott	222 Mollin Street	donald.mott@outlook.com	Donald W Mott
Leighann Booth	Watertown	lbooth13619@gmail.com	Leighann Booth
Stephanie Hagelin	201 California Ave	steph.hagelin@gmail.com	Stephanie Hagelin
Brian Watson			Brian Watson
MARIAH & JAKE BAKER	630 GOTHAM ST	mariah.daffron98@gmail.com	Mariah & Jake Baker

Maryellen Blevins PA-C, MPAS, CWS, DWC  
719 Washington St  
Watertown, NY 13601

September 30, 2021

Planning Board of Watertown  
City of Watertown  
City Hall  
245 Washington St  
Watertown, NY 13601

Dear Planning Board:

I am writing to you about my concerns of the proposed Stewart's gas station relocation to the corner of Flower Avenue and Washington Street. I am a physician assistant and I am seeing patients through the time of the scheduled planning board meeting, otherwise I would be there in person. The meeting will likely be a discussion of a change of zoning for 108 Flower Avenue from Residential B to Neighborhood Business or for approval of the proposed building plan. I would appreciate it if you would read this letter at the meeting, so that my voice is heard on this issue.

As prospective neighbors living at 719 Washington Street, we have many concerns over this, as should all of us. Washington Street is a busy street making it, at times, difficult to cross. As business owners, increasing the traffic will make it harder for our clients to access our establishment. My husband is a massage therapist and the environment for his clients is important to help promote peace and relaxation. A gas station will bring an increase in noise, the smell of garbage and the smell of gas. Garbage brings other unacceptable problems, such as an increase in rodents.

Now believe it or not, these are the least of our concerns. Gas stations have to open vent the vapors that are generated in the gas storage tanks. In addition to that, the trucks that fill their tanks with gas use a hose to absorb the vapors; however, about 10% of these vapors are not absorbed and are released into the air. These vapors are made up of Benzene, Toluene, and Xylene. Benzene has sufficient research behind it to state that exposure to this chemical causes breast cancer and leukemia.<sup>1,2</sup> In a 2019 publication, gas stations were randomly tested and even though there are regulations to prevent excessive release of these carcinogens, it was noted that the vapors being released often exceeded the regulation limit. The conclusion of the study recommended that gas stations should not be built within 175 yards of a residential area due to the risk of toxic fume exposure. We have young children and having years of inhalation exposure

to toxic fumes is not acceptable to us, nor should it be to anyone else. We have multiple healthcare businesses in this area and this is not good for patients either.

Now many may ask what's the difference? Stewart's is already located up the road. What difference is it to move it several blocks down? Well there are a few differences. The new location is more densely populated with family homes. It is also important to point out when this gas station was originally built, the current knowledge we have about the toxicity of the gas vapors was not available. With time, we learn more. The point of the new knowledge is to use it to make situations better, not to ignore the knowledge and say well we did it this way in the past so we should continue to do it this way at the cost of harming our community. Let's do better! Companies will do what benefits them the most, but as a community we need to do what benefits us the most and it's not a gas station on the corner of Flower Avenue and Washington Street.

Sincerely, *Randall Blevins*

A handwritten signature in cursive script, appearing to read 'R Blevins'.

Randall Blevins LMT and Maryellen Blevins PA-C, MPAS, CWS, DWC

1. American Cancer Society. Benzene and cancer risk. Cancer.org. Revised January 6, 2016. Accessed September 30, 2021. <https://www.cancer.org/cancer/cancer-causes/benzene.html>
2. Breast Cancer Prevention Partners. Benzene. Bcpp.org. Reviewed 2019. Accessed September 30, 2021. <https://www.bcpp.org/resource/benzene/>
3. Hilpert M, Rule AM, Adria-Mora B, Tiberi T. Vent pipe emissions from storage tanks at gas stations: Implications for setback distances. *Sci Total Environ*. 2019;10(650 part2);2239-2250.

Maryellen Blevins  
719 Washington St  
Watertown, NY 13601

September 30, 2021

Planning Board  
245 Washington ST  
Watertown, NY 13601

This letter is an addendum to my original letter, which I would appreciate being read at the meeting occurring on 10/5/21 as well.

Although I appreciate Chuck Marshall responding to my concerns, he did not answer my main concern of open venting of Benzene. What he explained was how the delivery trucks fill the underground gas tanks. These trucks do have an extra hose to absorb vapors; however, those hoses are not perfect and on average leak 10% of the vapors into the air with each episode of filling.

Now there is a separate issue of open venting of the gas storage tanks under the ground. These tanks build up pressure and the pressure must be released. It is released into the air by an open vent which is clearly diagrammed in his letter. Although there are regulations on how much vapor is released, the study previously quoted shows that on random testing, gas stations go over that limit regularly.

This situation causes air pollution and that is why the recommendation from the study states gas stations should be beyond 175 yards from residences.

As far as the traffic issue, Chuck is quoting statistics that are 2 years old and assuming that there has not been any significant increase in that time and the gas station won't change that in any impactful way. That is a lot of assuming.

As far as our property values, it is clear he is aware of the impact of those values, since he is consulting someone to know just how much that is.

It is clear from his letter and my above responses that my concerns have not been addressed.

Thank you for your time.

Maryellen Blevins PA-C

## Geoffrey Urda

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**From:** Marcia Kettrick <marciakettrick@gmail.com>  
**Sent:** Sunday, October 3, 2021 12:53 PM  
**To:** Geoffrey T Urda  
**Subject:** Stewart Shop

Dear Mr Urda,

I would like to go on record as being opposed to the rezoning of Residential property to Neighborhood Business in regard to the parcel of land on Flower Ave East that Stewart Shops wants to have changed. I am a 35 year resident of 214 Flower Ave West. I am a retired supervisor of SMC laboratory. I do not approve of business encroaching on residential property. It's one parcel here, then another one on the other side of the street or down the block. Where does it end?

I actually cannot tell from the renderings on the city planner meeting website exactly where the driveways and sidewalks are for this proposed property. I do know that that corner is a difficult one to cross both in a car or on foot (going from one side of Washington Street to the other). I cannot imagine how difficult it will be with an added business there. Will they enter and exit only on Washington Street? Will there be entrances or exits on Flower? Whatever the plan is, it will cause traffic backups and safety issues for pedestrians. If it is built and these issues are eventually seen, then they will want another traffic light installed which would be absurd. The possible future problems created cannot be ignored.

I am also concerned that there will be 3 gas pumps, where now there are only 2. Where will the gas storage tank be located? Where will the filling spot be? Will a huge gas tanker be able to maneuver into the filling location without disrupting traffic in any direction? I also am concerned about possible contamination of the land or containment should there be a leak or spill.

I know that the traffic that comes down my part of the street has grown substantially over the years that I have lived here. I'm sure that having a Stewart Shop at the end of it will only increase it even more as folks will cross from the Stewart's to get to Holcomb Street and eventually Arsenal or LeRay. The noise of the jacked up cars that speed down Flower is already a problem, we do not need any more traffic!

In closing, please share my concerns with the appropriate persons and know that I do NOT want the zoning changed or a new Stewart Shop built on the proposed site.

Thank you for your time and service,

Marcia K Kettrick  
315-778-1886

Public Hearing – 7:15 p.m.

February 28, 2022

To: The Honorable Mayor and City Council

From: Michael A. Lumbis, Planning and Community Development Director

Subject: Community Development Block Grant (CDBG) 2022 Annual Action Plan  
Public Hearing

A Public Hearing has been scheduled for 7:15 p.m. on March 7, 2022, as part of the effort to gather public input for the preparation of the City's CDBG 2022 Annual Action Plan. In addition to the public hearing, staff sent email correspondence to the partner agencies identified in our CDBG Citizen Participation Plan and discussed the plan with Advantage Watertown members on February 10, 2022.

Last year, the City of Watertown was allocated \$943,790 by the U.S. Department of Housing and Urban Development (HUD) for the 2021 Program Year. The City has not yet been notified of this year's funding amount but we expect that it will be approximately \$965,000.

At the February 22, 2022, City Council Work Session, Staff provided an overview of the CDBG program and discussed potential projects for inclusion in the 2022 Annual Action Plan. The proposed project ideas for the 2022 Annual Action Plan that were presented at the meeting included the following:

1. Seward Street Reconstruction Project
2. ADA Ramp Replacement Project
3. Demolition Project
4. Tree Planting Project
5. Owner Occupied Housing Rehabilitation Program
6. Homebuyer Program
7. Homeless Assistance
8. Fair Housing Education
9. Burlington Street Reconstruction Design
10. Program Administration

Staff is currently reviewing a few funding requests that we have received in addition to the suggestions made by the City Council to determine whether they would be eligible for CDBG funding and how the projects might fit into the 2022 Program Year budget.

Additional information regarding these requests, and any others that are received at the public hearing, will be provided to the Council at the March 21, 2022, meeting.

Tabled

March 2, 2022

To: The Honorable Mayor and City Council

From: Kenneth A. Mix, City Manager

Subject: Approving License Agreement with Convalt Energy, Inc. for Sewall's Island

This resolution was Tabled by City Council at the February 22, 2022 meeting. As this License Agreement has been redone and new resolutions have been prepared, it is recommended that Council Members withdraw your introductions if those resolutions have been approved.

# RESOLUTION

Page 1 of 1

Approving License Agreement with  
Convalt Energy, Inc. for Sewall's  
Island

Council Member HICKEY, Patrick J.

Council Member OLNEY III, Clifford G.

Council Member PIERCE, Sarah V.C.

Council Member RUGGIERO, Lisa A.

Mayor SMITH, Jeffrey M.

Total .....

YEA	NAY

## *Introduced by*

Council Member Clifford G. Olney III

WHEREAS the City of Watertown owns a portion of Sewall's Island that contains an unused hydro-electric site, and

WHEREAS Convalt Energy, Inc. is interested in acquiring approval to investigate the potential for redevelopment, and

WHEREAS a License Agreement has been developed that gives Convalt the exclusive right to conduct studies of the hydro-electric plant and the two available parcels for commercial, retail and public purposes,

NOW THEREFORE BE IT RESOLVED that the City Council of the City of Watertown hereby approves the License Agreement with Convalt Energy, Inc., a copy of which is attached and made part of this resolution, and

BE IT FURTHER RESOLVED that Mayor Jeffrey M. Smith is hereby authorized and directed to execute the License Agreement on behalf of the City of Watertown.

*Seconded by* Council Member Patrick J. Hickey